



CESSNOCK
DEVELOPMENT CONTROL PLAN

PART E
SPECIFIC AREAS



E.2: THE VINTAGE

Amendment History

Version No.	Nature of Amendment	Date in force
1	Initial adoption by Council on 16 October 1996 (DCP 26)	23 October 2006
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5	Incorporation into Part E: Specific Areas	30 March 2007
6	Consequential amendments as a result of Cessnock Local Environmental Plan	23 December 2011

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E.2 'THE VINTAGE'

2.1 INTRODUCTION

2.1.1 Application

This Chapter applies to the land shown on *Figure 1: Locality Plan*, and as identified in Cessnock Local Environmental Plan (CLEP), Clause 2.5 Additional permitted uses for particular land, and shown hatched on the LEP maps.

2.1.2 Purpose

This Chapter provides guidelines for the development of 'The Vintage' land at Rothbury as a major tourist and visitor accommodation development, incorporating both recreation facility (indoor) and recreation facility (outdoor), associated residential accommodation.

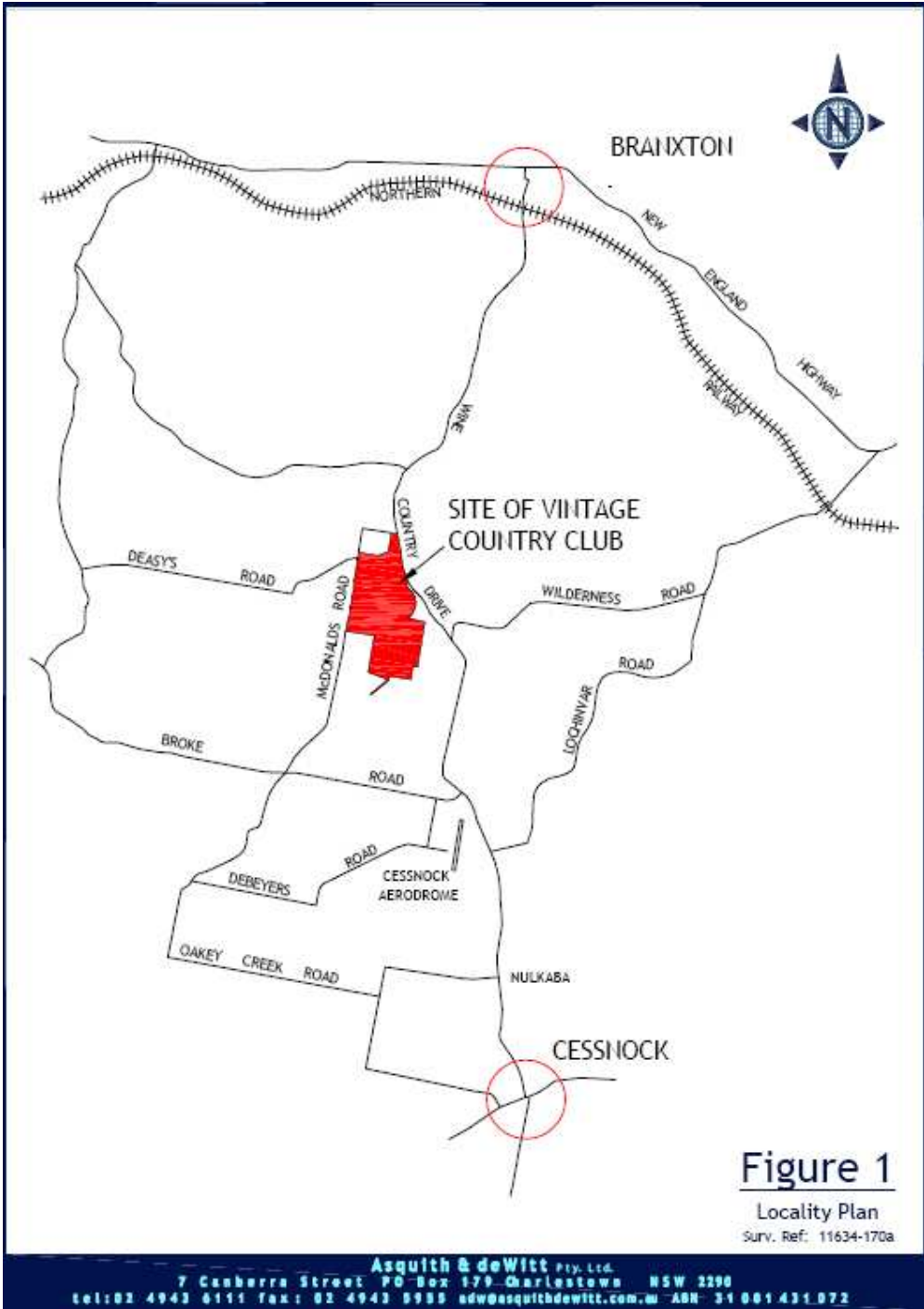
2.1.3 Objectives

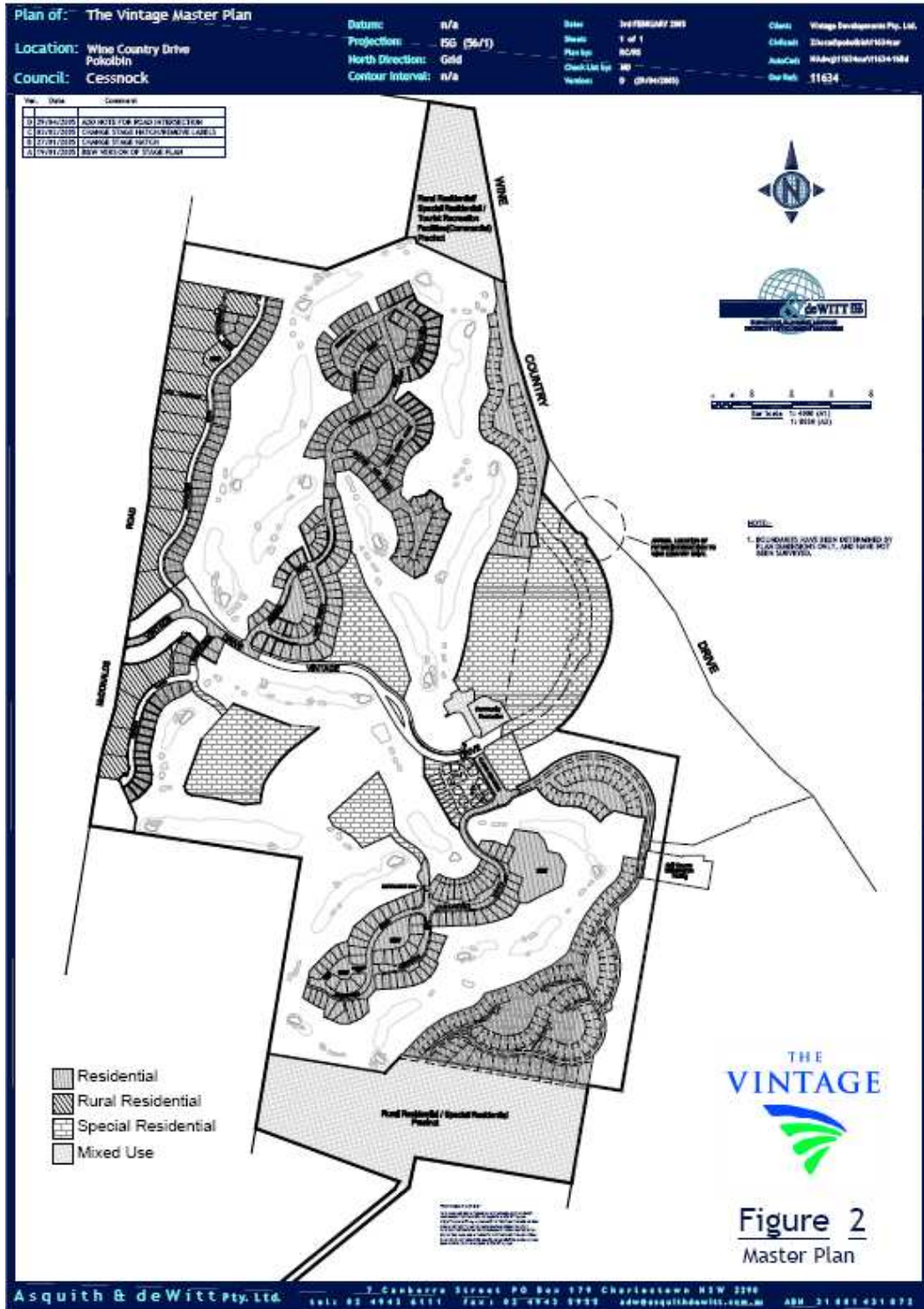
This Chapter is concerned with the effective implementation of the objectives, principles and provisions of the Cessnock LEP as they apply to the subject land. Generally these are:

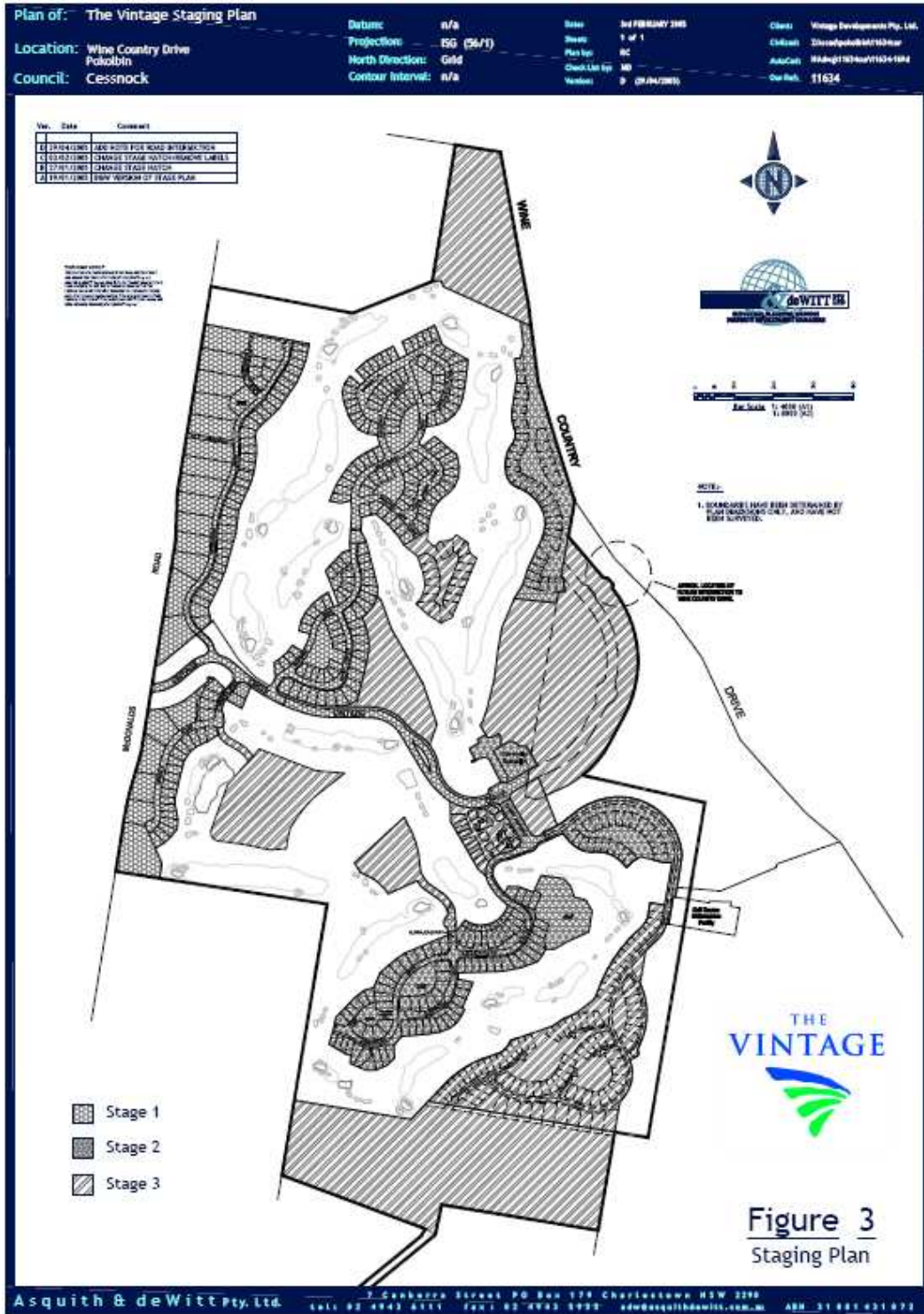
- a) to provide guidelines for development of land for each specific development component in accordance with the approved 'Master Plan' as follows:
 - (i) golf course, country club and special residential precincts;
 - (ii) residential and large lot residential development and subdivision;
- b) to encourage tourism development that is environmentally acceptable and compatible with the viticultural and agricultural industry existing in the locality; and
- c) to ensure that the subdivision pattern, site layout, and building design do not detract from the rural character of the locality.

2.1.4 Definitions

“**public place**” has the meaning ascribed to it in the *Local Government Act, 1993*.







2.2 PREPARATION OF APPLICATIONS - SINGLE RESIDENTIAL AND RURAL RESIDENTIAL (LARGE LOT RESIDENTIAL) ALLOTMENTS

2.2.1 *Design Review Committee*

The developer/owner of the subject land shall establish a Design Review Committee (DRC), made up of landowners within the complex, prior to the registration of the first plan of subdivision (which creates residential or rural residential allotments).

The Committee shall comprise the following representatives:

- (a) a representative of the developer;
- (b) two members nominated from the Residential, Special Residential & Rural Residential (Large Lot Residential) lots; and
- (c) a representative of Council.

It will be the responsibility of this Committee to review all applications for development on residential, special residential and rural residential (large lot residential) allotments within the relevant scheme, and determine whether the design is consistent with the provisions of this Chapter, and the Landscape and Architectural Guidelines contained therein, prior to any application being forwarded to Council for determination.

It should be noted that under the Community Management Statement, the approval of the DRC is not required for development proposed by the developer of 'The Vintage'.

The Committee will also be responsible for notifying adjoining landowners, within the complex, that the Committee is reviewing an application. Any issues raised by these property owners or interested parties should, wherever possible, be resolved by the Design Review Committee prior to the application being forwarded to Council.

2.2.2 *Applications to Council*

Applications for development shall take the form of a Development Application/Construction Certificate application, and must be accompanied by a letter from the Design Review Committee of 'The Vintage' complex, stating that the application has been reviewed by the Committee and is satisfactory in terms of the provisions of this Chapter.

Any issues/objections raised by adjoining landowners within the complex, or interested parties, which cannot be resolved by the Design Review Committee, will be forwarded to Council by the Committee.

Council (as the consent authority) will notify adjoining owners of developments consisting of two storey dwellings as per Cessnock Development Control Plan, Part B: General Information, Chapter 1: Public Notification and Advertising and will give due consideration to all submissions received when determining the applications.

2.2.3 *Community Management Statements, Easements and Restrictions under Section 88 of the Conveyancing Act*

Details of management function and on-going responsibility for quality control for the resort complex shall be specified within Community Management Statements and Section 88B (or 88E) instruments which shall be attached to each plan of subdivision affecting any part of 'The Vintage' property. These instruments shall also address the relationship between each of the

residential, special residential and rural residential (large lot residential) allotments and the land upon which the tourist facilities are located.

2.3 GENERAL DESIGN PRINCIPLES

The guidelines set out below reflect particular principles and objectives designed to achieve the aims of this Chapter and Cessnock LEP.

2.3.1 Development Components

The types of development for which applications are anticipated on the subject land are specific Recreation Facilities (indoor), Recreation Facilities (outdoor), Single Residential and Large Lot Residential dwelling-houses and Special Residential precincts consisting of resort community accommodation and resort hotel accommodation and facilities.

A Master Plan has been prepared for the overall development and is shown at *Figure 2: Master Plan*. The Plan incorporates a number of residential, rural residential (large lot residential) special residential, and mixed use components.

The resort hotel portion of the Special Residential component of the development incorporates the development of tourist and visitor accommodation units to a benchmark density level of 40 units/hectare, which would equate to 150 units.

The resort community portions of the Special Residential component of the development are to be developed to a lesser scale of a maximum of 30 units / hectare, which would equate to 335 accommodation units, intended to be utilised in association with the resort hotel.

The residential component incorporates a maximum lot yield of 482 residential lots and 40 rural residential (large lot residential) allotments, to be released in stages as the development progresses.

Assuming the average occupancy rate of 3.12 persons per dwelling, as applied in the Contributions Plan for Residential Development, the resident population within 'The Vintage' complex would approximate to 1629 persons.

2.3.1.1 Tourist Recreation Facilities

'Tourist recreation facilities' were defined in Cessnock LEP 1989 and principally included any establishment primarily providing holiday accommodation, entertainment or recreation, used in conjunction with any other activities intended to serve the needs or interests of tourists.

Within the scope of this definition and the Master Plan, it is anticipated that proposals will include:

- a golf course, a country club, and holiday accommodation.

'The Vintage' development incorporates a high standard 18 hole golf course as one of its key elements. Important aspects of the golf course are the extensive waterways, graduated tee positions, proximity to tourist and residential developments, start and finish points adjacent to the Country Club, driving range and attractive landscaping. Elements of the landscaping have been intentionally designed to extend into the public road spaces adjacent to the golf course.

The golf course is to be constructed at the beginning of the project, and the layout is depicted in *Figure 2: Master Plan*. Permanent clubhouse and community recreational facilities will be developed in accordance with the staging plan as shown in *Figure 3: Staging Plan*.

The principle facilities of Clubhouse / Pro-Shop and Bars / Restaurants, shall be optimised to create an attractive and efficient operational focus for the country club complex. The clubhouse facilities shall have a distinctive low scale rural character, using materials complementary to the regional architectural characteristics. A swimming pool and tennis courts will be provided as added recreational facilities to the country club. Landscaped open space shall be provided to enhance the rural character of the overall development.

Construction of all tourist recreation facilities including the Special Residential precincts (tourist and visitor accommodation) shall adhere to the colour schemes, material selections and landscaping as set out in the Landscape and Architectural Guidelines as attached at **Appendix B** to establish an integrated visual link with the residential and rural residential components of the project.

2.3.1.2 Residential (Single Residential Allotments)

Lot sizes will range between 450m² - 1300m², frontages will generally be 15 - 22 metres in width. Battle-axe lots will include an additional area consisting of a 4.0 metre wide access handle.

Only one dwelling-house will be allowed on each allotment. The dwelling-house may take the form of multiple structures consistent with the cluster style construction of contemporary rural buildings.

Residential flat buildings, multi dwelling housing, dual occupancies, dormitories, hostels and the like, are specifically excluded.

Individual owners, in accordance with the provisions of this Chapter, will carry out the development of residential lots. The Design Review Committee must first review applications, before forwarding them onto Council for determination, as per the procedure outlined in Section 2.2.1.

Landscape and Architectural Guidelines for the development of these lots are attached at **Appendix B**.

2.3.1.3 Rural Residential (Large Lot Residential) Allotments

Forty (40) rural residential (large lot residential) allotments are proposed in the Master Plan to be developed and are located in those positions shown on the Master Plan.

Subdivision of these lots is to be carried out in accordance with the requirements of CLEP, Clause 4.1 Minimum subdivision lot size. That is, the Council shall not consent to the subdivision of land which creates allotments the Council is satisfied will be used for the erection of dwelling-houses where those allotments have an area of less than 4,000m².

Only one dwelling-house will be allowed on each allotment. The dwelling-house may take the form of multiple structures consistent with the cluster style construction of contemporary rural buildings.

Residential flat buildings, multi dwelling housing, dual occupancies, dormitories, hostels and the like, are specifically excluded.

Individual owners, in accordance with the provisions of this Chapter, will carry out the development of rural residential (large lot residential) allotments. The Design Review Committee must first review and approve applications before owners can forward them onto Council for determination, as per the procedure outlined in Section 2.2.1.

Development of rural residential (large lot residential) allotments shall generally adhere to the forms, colour schemes and general requirements contained in the Landscape and Architectural Guidelines as attached at Appendix B. A 3.0 metre landscape transition zone exists along the front property boundary of all lots and driveways are required to be setback a minimum of 4.0 metres from the side property boundary.

Please note that landscape plans for rural residential (large lot residential) allotments, including plant choices, should satisfy the objectives of the Guidelines with individual landscape designs assessed on their merit.

2.3.1.4 Special Residential and Mixed Uses Precincts

There are six separate areas adjacent to the golf course nominated as Special Residential precincts and two areas nominated as Mixed Use precincts, incorporating the resort hotel precinct and resort communities. Each resort community is to be utilised as accommodation in conjunction with the resort hotel precinct.

Within the Special Residential precincts and the portion of the Mixed Use precinct allocated as resort community, innovative housing types will be permitted with the objective of achieving an urban density of 30 – 40 units per hectare. The built form and landscaping shall be consistent with the guidelines as set out in this Chapter.

Accommodation within these precincts may be made up of a combination of detached buildings and apartment blocks comprising standard rooms, one and two-bedroom suites and two, three and four bedroom villas, providing short stay opportunities for a broad range of users.

As noted in Section 2.3.1.1 of this Chapter, construction of the tourist and visitor accommodation and facilities shall adhere to colour schemes, material selections and landscaping that is consistent with the residential and large lot residential precincts to ensure a visual link throughout the Estate.

Development standards for these precincts are prescribed below.

2.3.1.5 Mixed Uses - Resort Communities

The Resort Communities shall be developed to a maximum density of 30 units per hectare. Building form should be low-scale and incorporate simple architectural design principles focused on creating enjoyable and comfortable environments.

A maximum of two storeys is permitted in the resort communities with a maximum building height of 8.5 metres. Two storey buildings must have a varied height and mass, with roof top observatories, attics and lofts not permitted.

A staggered building setback is encouraged to add interest to the streetscape. Setbacks to development lot boundaries are limited to a minimum of 4.0 metres for buildings and 3.0 metres for verandas, pergolas and terraces. Retaining walls visible from outside the Precinct can be built within 2.0 metres of development lot boundaries.

A 2.0 metre landscape transition zone exists within the property boundary along the golf course frontage of all lots with direct golf course interface. This buffer and all general landscaped areas must be landscaped with plant species specified in the attached *guidelines*.

Separate recreation facilities shall be provided for in each individual resort community, consisting of suitable recreation facilities. Vehicular parking will be provided for each unit at the rate of one space for each one and two bedroom unit and two spaces for every three bedroom unit. Visitor parking shall be incorporated into the design at the rate of 1 visitor space for every 5 units.

Communal garbage collection areas shall be incorporated in the design of each individual resort community and include provision for the recycling of plastic and glass.

2.3.1.6 Mixed Uses - Resort Hotel Precinct

The Resort Hotel Precinct shall contain the Resort Hotel Building and may also provide for general resort community accommodation. The Resort Hotel Precinct shall be developed to a maximum density of 40 units / hectare.

The precinct can be used to provide varying types of accommodation related to the Resort Hotel use including: hotel accommodation; suites; as well as apartments and one, two, and three bedroom villas (single storey), thus providing short stay opportunities for a broad range of users.

Specific, recreation and tourist commercial facilities should be provided for the use of the hotels tourist & visitor population. The facilities can include: reception; restaurants; bars; conference facilities; business centres; tourist shops; recreation facilities; gymnasiums; swimming pools; and spas.

The Resort Hotel Building is to provide a landmark focal point for 'The Vintage' from both inside the site as well as from specific view points outside the site. The Resort Hotel building should be of a landmark quality crowning the prominent hill top site overlooking the golf course.

Advantage should be taken of the north facing aspect, as well as the proximity to the clubhouse, recreation facilities and village green.

Architectural design principles should focus on creating a comfortable and enjoyable environment with a landmark quality defining this site as a centre of activity within 'The Vintage'.

The Resort Hotel Building should reinforce its landmark nature by crowning the hill with a stepped building form to a maximum wall height of 12 meters above the highest point of the allocated Resort Hotel site. A crowning vertical architectural element may be incorporated while identifying the hotel as the heart of 'The Vintage'. Individual designs will be assessed on merit.

The Resort Hotel apartments, villas and tourist facilities should again respect the topography and overall landscape vision of the golf course and other Residential Precincts. A maximum of 2 habitable storeys with a maximum wall height of 10 meters above natural ground is permitted. Buildings must have a varied height and mass and roof top observatories, attics and lofts are not permitted. A staggered building setback is encouraged to add interest to the street and golfscapes. Setbacks to development lot boundaries are limited to a minimum of 4.0 metres for buildings and 3.0 metres for verandas, pergolas and terraces.

A 2.0 metre landscape transition zone exists within the property boundary along the golf course frontage of all developments and lots with direct golf course interface. This buffer and all

general landscaped areas must be landscaped with plant species specified in the attached *guidelines*.

Parking for the resort hotel and for ancillary tourist related facilities shall be provided in accordance with the provisions of Part C: General Guidelines, Chapter 1: Parking and Access.

Parking shall be screened from perimeter access roads by either built form or landscaping consistent with 'The Vintage' landscape vision.

2.3.1.7 Mixed Use Precincts

There are 2 areas located at the northern and southern extremities of 'The Vintage' with more than 1 development component. Within these precincts, it is proposed to permit development as nominated on the Master Plan. The built form and landscaping for the particular proposed use shall be consistent with the guidelines as set out in this Chapter.

2.4 STAGING OF DEVELOPMENT

The complex is to be developed in stages. Each stage is to contain a component of development consisting of a tourist component/s, and associated residential and or large lot residential subdivision.

The Staging Schedule is as follows:

Stage 1:

18 hole golf course including Informal Play Areas 1 and 2; Country Club and associated parking; a maximum of 223 residential lots; a maximum of 21 rural residential lots and associated residue lots.

Stage 2:

Tennis and fitness centre; a maximum of 147 residential lots & associated residue lots.

Stage 3:

Special Residential precincts incorporating a resort hotel facility to a maximum of 150 accommodation units and resort communities to a maximum of 335 accommodation units; a maximum of 112 residential lots; a maximum of 19 rural residential lots; development of community facilities and development of tourist recreation (commercial) facilities.

Council will not release the subdivision certificate to the subdivision of residential lots within Stage 2 until such time as the Tennis and Fitness Centre are complete and operational.

Council will not release the subdivision certificate to residential or rural residential lots within Stage 3 until such time as:

- a) the 'Azure' Special Residential (Resort) precinct, incorporating a minimum of 44 units, is complete and operational; and
- b) a Certificate of Practical Completion is issued by Council and the RTA in respect to the Vintage Drive extension and its connection with Wine Country Drive;

to constitute a major tourist recreation facility.

The Staging Plan is shown at Figure 3. The staging of the development will enable roads and infrastructure to be progressively developed in a cost efficient and effective manner, and

minimise site disturbance from engineering works by concentrating construction into finite areas of the overall site.

Note: The above Staging Schedule is as per Development Consent No.5/1995/80147/4 and as such the term 'rural residential lots' is retained. It should be noted that CLEP no longer uses the term, rather using the term 'large lot residential'.

2.5 DEVELOPER CONTRIBUTIONS

The site represents a unique situation within the Northern-Rural Contribution District, as it incorporates residential development to an urban standard, albeit within a rural setting.

The breakdown of the contribution rate, as applied to this District, makes no provision for open space, recreation and community facilities.

In this instance, therefore, the payment of monetary contributions alone will not satisfy the requirements for this development. On-site provision of open space and community facilities is also required.

2.5.1 Monetary Contributions

The developer shall contribute towards the costs of residential, large lot residential and tourist development under Section 94 of the *Environmental Planning and Assessment Act, 1979* in accordance with Council's adopted Contributions Plans for Residential and Tourist Developments.

2.5.2 Public Open Space

The provision of an 18 hole golf course provides adequate open space in terms of total land component. However, areas for passive / recreational open space are required to fulfil the range of needs of the intended population, and tourists. A minimum land area of 1.5 hectares shall be provided for passive active and passive open space.

Construction of the active open space is required prior to the release of any residential lots in Stage 2.

Active recreational facilities on this site are to include (by negotiation with Council and consistent with Council's playground policy):

- under 5's playground with appropriate play equipment, soft fall and childproof fencing;
- a gymnasium;
- 2 tennis courts;
- a 25 metre swimming pool.

The open space is required to link with the proposed cycleways and pathways throughout the development, and be accessible by disabled persons, designed to Australian Standard AS1428 Pts 1-4.

In addition, one informal play area is required to be established prior to the residential development in each of Stages 1 & 2, as proposed. Both areas (minimum of 800m² each), are to be established as part of the safe shoulder / fringe areas of the golf course.

The location and equipment for the under 5's play area is to be negotiated with Council and be consistent with Council's playground policy.

2.5.3 Community Facilities

Community facilities for the overall development is to comprise a multi-purpose facility within the nominated site, and convenience goods facilities. The registered proprietor of the Country Club is to make a function room available for community use at the discretion of an established Section 377 Committee of Council, subject to demand.

2.6 LAND USE PRINCIPLES

2.6.1 Background Studies

The Master Plan for the Vintage Country Club has evolved from extensive studies, which include the following:

- topographic survey;
- slope analysis;
- scenic analysis;
- stormwater drainage analysis;
- vegetation study;
- traffic study;
- utility services study;
- soils analysis;
- golf course investigations;
- landscape analysis;
- architectural analysis; and
- agricultural analysis (including viticulture).

Development constraints have been identified as a result of this background research. The dominant constraints relate to topography, vegetation, stormwater drainage, visual impact, and utilities services.

The Master Plan has been prepared as a result of this constraints mapping exercise and illustrates an appropriate development strategy, which will form the basis for land use decisions, when Council considers each stage of the development.

2.6.2 General Land Use Principles

The guidelines below, supplement the general land use principles contained in the Cessnock LEP, and are directed to ensuring that the development is responsive to its unique environment, and results in the establishment of tourist and visitor accommodation in association with recreation facilities (outdoor).

2.6.2.1 Civil Infrastructure

Vehicular Access and Internal Road System

Objective:

To provide acceptable levels of access, safety and convenience for all street users while ensuring acceptable environments within the Vineyard District context.

Guidelines:

Access to the development will be generally at the locations shown on the Master Plan (Figure 2) or as may be approved by Council in consultation with the RTA.

Access to Wine Country Drive will be to an Austroads Type C standard, with a left-turn deceleration lane to an approved standard, or as determined by the RTA / Council. Access to McDonalds Road will be to an Austroads Type B standard or equivalent.

Standards:

The relevant standards for road widths and carriageways shall be in accordance with Council's 'Engineering Requirements for Developments'. Such road widths and design standards shall be determined in conjunction with Council at the engineering design stage.

Public Roads

Public roads shall be constructed road pavements, with variable width footpaths and landscaped buffer zones.

Maintenance of Public Roads

Public roads shall be maintained as follows:

- a) constructed road pavement from rear of kerb to rear of kerb and associated stormwater drainage (up to the point of discharge to an approved outlet point) shall be maintained by Council;
- b) all other land within the road reserve comprising variable width footpaths and landscape buffers (within the road reserve and adjoining private lots) shall be maintained by either the Golf Club Proprietor or the Community Association for the scheme in which that road is located;
- c) maintenance of the footpath areas / landscape buffer zones shall be undertaken in a manner and at a frequency satisfactory to Council;
- d) either the Golf Club Proprietor or the Community Association for the scheme in which drainage lines are located shall maintain all stormwater drainage lines with the exception of those stormwater drainage lines referred to in a) above.

Servicing Requirements

Objective:

To ensure the provision of adequate infrastructure to 'The Vintage' complex.

Guidelines:

A reticulated water supply (including a fire-fighting capacity) and sewerage service shall be provided to all residential lots within the complex to the requirements of the Hunter Water Corporation.

Electrical and all telecommunication utilities are to be provided to each allotment, by way of underground conduits.

Provision shall be made for gas supply.

2.6.2.2 Erosion and Sediment Control

Soil Conservation and Drainage

Objective:

To ensure management of soil and stormwater quality to the satisfaction of the Department of Environment, Climate Change and Water (DECC&W) and Cessnock City Council.

Guidelines:

The natural drainage lines on the site will be utilised to the maximum extent possible as part of a stormwater runoff drainage management system that uses soil conservation measures, including detention basins, to alleviate stormwater peaks and retain sediments and pollutants.

Drainage works carried out on the land shall not have a detrimental effect on the environment.

An overall "Soil and Water Management Plan" will be prepared for the site prior to any development works being undertaken.

Plans are to include practical requirements for mitigation of erosion and controlling sediment runoff leaving the site during construction.

With regard to stormwater quality, the applicant shall demonstrate:

- that water quality enhancement systems are capable of removing water borne pollutants to a satisfactory standard; and
- that water quality enhancement systems are designed and constructed in accordance with relevant legislation.

Excavation

Any alterations to natural ground levels on site must be adequately contained so that no sediment runoff onto adjoining properties occurs. This can be ensured by the provision of soil erosion and sediment controlling Best Management Practices.

Control measures must be installed prior to any construction work commencing. Temporary controls shall be removed after satisfactory restoration and completion of landscaping works to stabilise all exposed areas.

2.6.2.3 Other Environmental Considerations

Archaeology

Objective:

To minimise impact of the development on local Aboriginal heritage.

Guidelines:

An archaeological survey has been conducted over the entire site and it has identified a number of sites of archaeological significance.

The recommendations of the Archaeological Report provides for the excavation and salvage of some areas, the destruction of some sites, and the preservation of others. These recommendations have been approved by the Department of Environment, Climate Change and Water (DECC&W).

The findings and recommendations of the Archaeological report and the approval of the DECC&W shall be taken into consideration in relation to any development of the site.

Water Tanks

The installation of any new water tanks within the Vineyards District will be equipped with a 'first flush' system to enable water to be diverted, reducing the probability of potential contamination of water supply.

Tree Preservation

Developers are encouraged to retain as many mature native trees as possible through careful subdivision and building design.

Every application for development is to be accompanied by a plan accurately describing the location and type of all existing mature trees and indicating those trees for which approval is sought for removal.

Timbers

It is recommended that no rainforest or non-plantation timbers (eg. Meranti, Merbau, Kapur, Keruing) be used in the construction of dwelling-houses. For example, custom wood skirtings and internal door frames are now available at a lower cost than Meranti.

Buffers to Vineyards

Objectives:

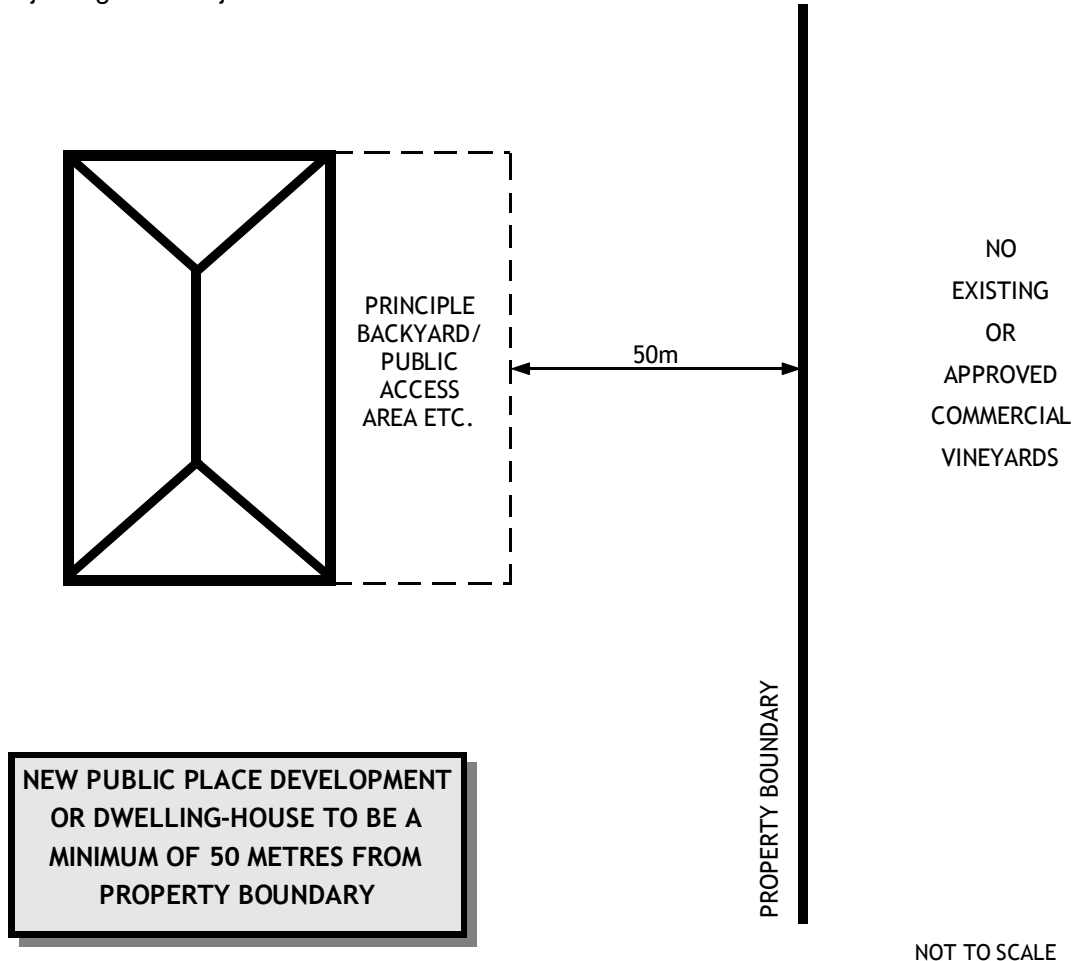
- to minimise impact on the Vintage Country Club development from aerial spraying. Conversely, to minimise the impact on surrounding viticultural/agricultural uses from the Vintage Country Club development;
- to ensure that specified new development is appropriately sited having regard to the location of neighbouring commercial vineyards, reducing the potential for impacts associated with chemical spray drift from both the ground and aerial application of chemicals; and
- to incorporate the use of vegetation chemical spray drift buffers as a means to capture chemical spray drift and reduce the required separation distance between commercial vineyards and specified developments.

Note: By ensuring that these objectives are achieved, Council is seeking to reduce the incidence of land use conflict between properties with commercial vineyards and those with developments having 'human habitation' components. It is important to ensure that vineyard operators are not forced to modify their practices due to complaints received from surrounding occupants. Similarly, it is equally important to ensure that surrounding occupants and their livelihood are not at risk from either the perceived or real impacts associated with chemical spray drift.

1. NEW 'PUBLIC PLACE' DEVELOPMENTS AND DWELLING-HOUSES: SITING REQUIREMENTS RELATED TO THE POTENTIAL FOR CHEMICAL SPRAY DRIFT

(i) Vacant Adjoining / Adjacent Land with no Approvals for Commercial Vineyards

New 'public place' developments and dwelling-houses are to be setback a minimum of 50 metres from a *property boundary* where no existing or approved commercial vineyards are adjoining or on adjacent land.



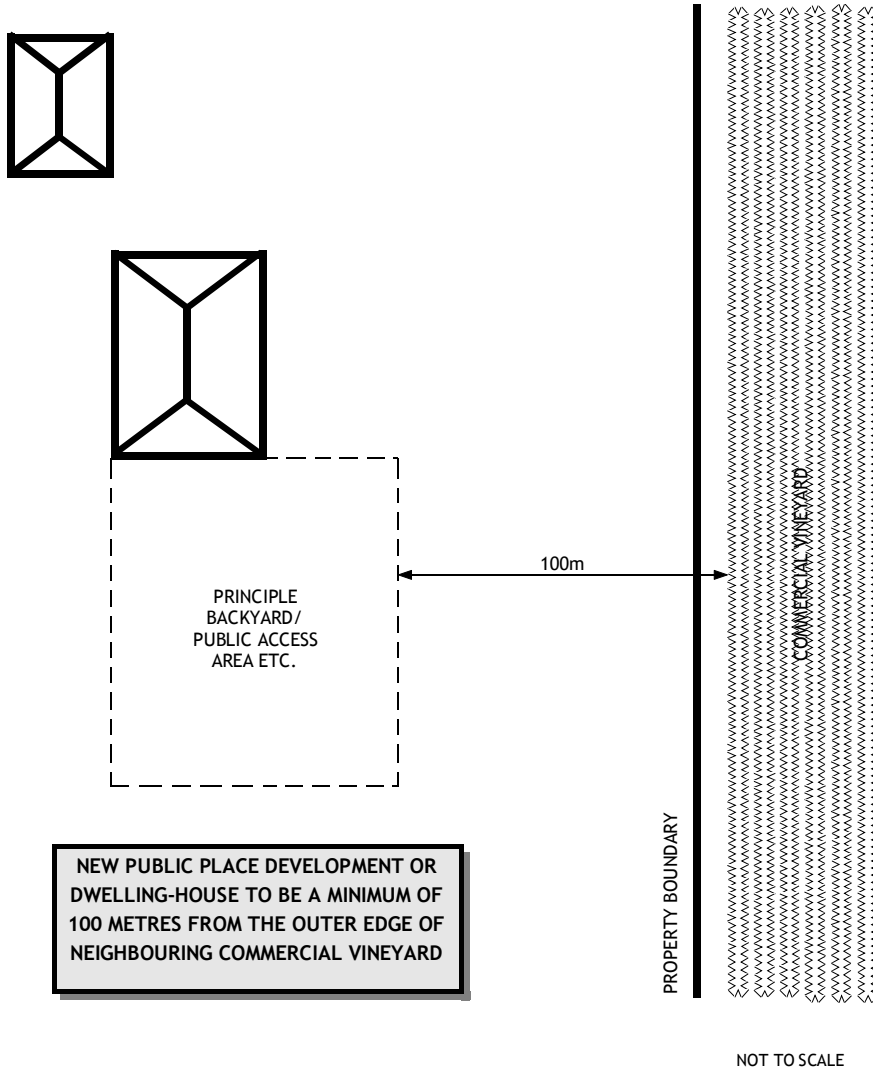
Note: *Where development is separated from vacant land by a public road the width of the road reserve can be included in the calculation of the setback.*

FIGURE 4

(ii) Adjoining / Adjacent existing or Approved Commercial Vineyards

Two methods (a) and (b) are available to minimise the incidence of chemical spray drift impact on 'public place' developments and dwelling-houses. The applicant is to select the most appropriate method.

- (a) 'Public place' developments and dwelling-houses are to have a minimum separation distance of 100 metres from an existing or approved commercial vineyard on adjoining or adjacent land.

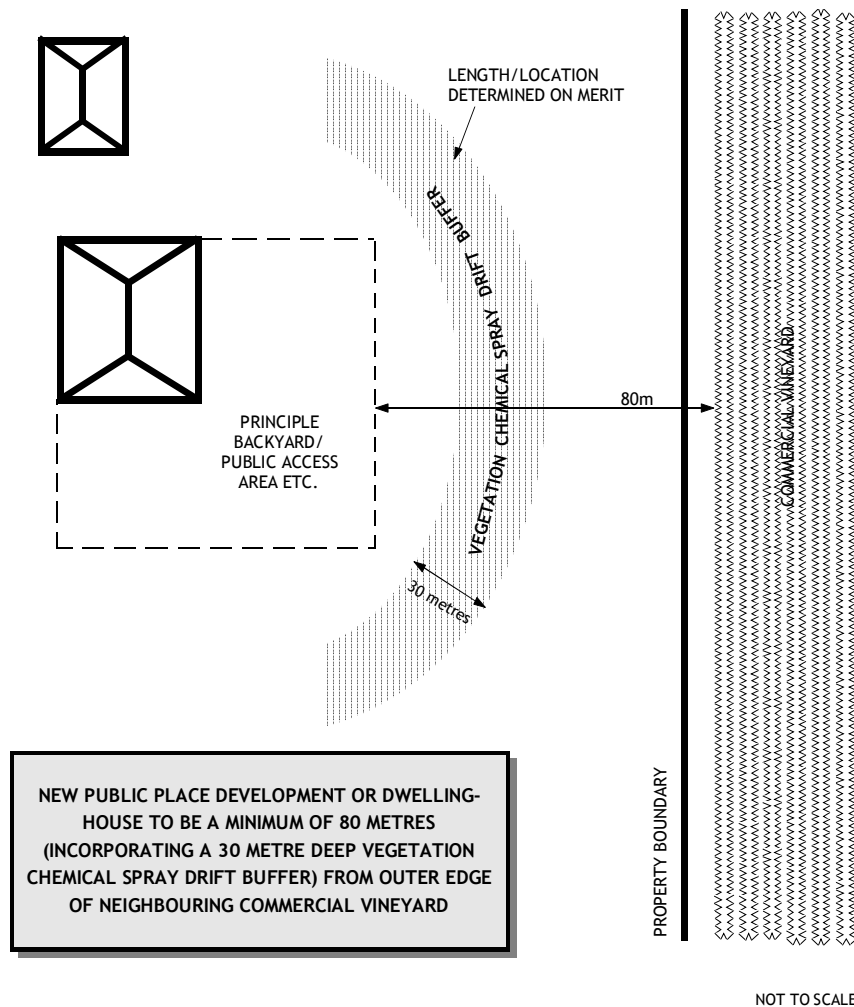


Note: Where development is separated from an existing or approved commercial vineyard by a public road the width of the road reserve can be included in the calculation of the setback.

FIGURE 5

- (b) 'Public place' developments and dwelling-houses are to have a minimum separation distance of 80 metres (which incorporates a vegetation chemical spray drift buffer of minimum 30 metre depth, with length and location to be determined on merit) from an existing or approved commercial vineyard on adjoining or adjacent land.

There are specific requirements for the establishment of vegetation chemical spray drift buffers that are contained at Appendix A.



Note: *Where development is separated from an existing or approved commercial vineyard by a public road and use of vegetation chemical spray drift buffer is proposed the width of the road reserve can be included in the calculation of the setback.*

FIGURE 6

APPENDIX A

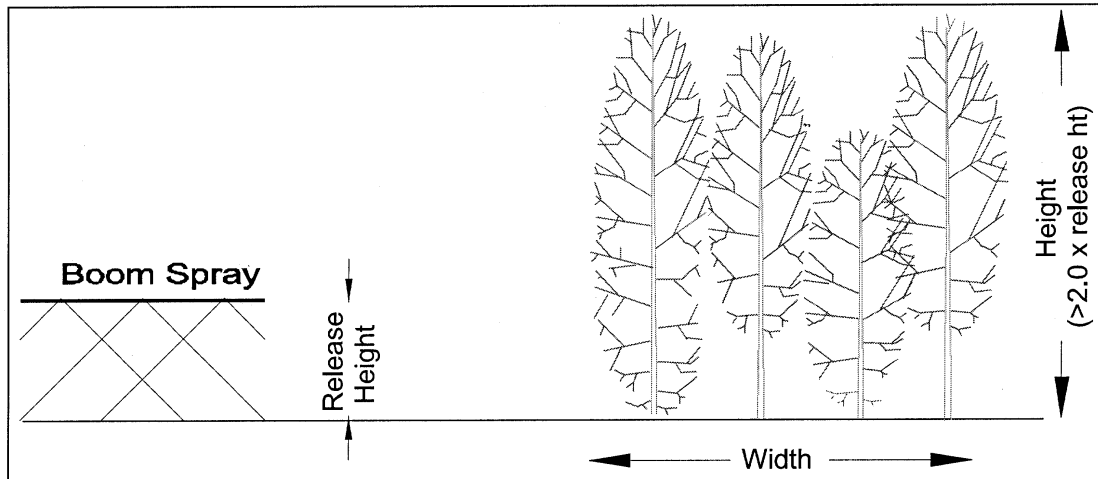
VEGETATION CHEMICAL SPRAY DRIFT BUFFERS

- Research into the behaviour of chemical spray drift has shown that vegetation chemical spray drift buffers can prove effective barriers to spray drift where they meet the following criteria:
 - are of minimum width of 30 metres;
 - contain random plantings of a variety of tree and shrub species of differing growth habits, at spacings of 4.0 to 5.0 metres;
 - include species which have long, thin and rough foliage which facilitates the more efficient capture of spray droplets (see accompanying species list); and
 - provide a permeable barrier which allows air to pass through the buffer (at least 50% of the buffer should be open space).
(Lismore City Council, 1994, p. 3)
- The vegetation chemical spray drift buffer shall have a minimum width of 30 metres and shall be designed in accordance with the following diagrammatic details incorporating species from the accompanying species list.
- Locations are to be determined individually through merit-based assessment.
- In the case of development consents other than for the purposes of commercial vineyards, Council will require the establishment of the required vegetation chemical spray drift buffer and any associated fencing to be constructed prior to occupation of the premises. In the case of development consents for new or expanded commercial vineyards, Council will require the establishment of the required vegetation chemical spray drift buffer and any associated fencing to be constructed within 6 months of the date of development consent.
- Consents issued on this basis will include specific conditions relating to the continued maintenance of such buffers, remaining the responsibility of the land owner, (eg. through instruments attached to the title of the property). A refundable bond will be required to the amount of 20% of the total cost of vegetation works (site preparation, plant costs, fencing, etc.). The total amount of the bond will be recoverable at a rate of 20% per year over 5 years where maintenance and survival rates are satisfactory to the Council.
- Applications for development, where vegetation chemical spray drift buffers are proposed, shall include a detailed landscaping plan indicating the extent of the buffer area, the location and spacing of trees and shrubs and a list of tree and shrub species. The application shall also contain details showing means by which the buffer is to be maintained.

The draft National Guidelines for Spray Drift Reduction of Agricultural Chemicals prepared by the Centre for Pesticide Application and Safety indicate that:

1. Plant surfaces which present a small frontal area to the moving chemical droplets are the most successful at catching these droplets. Trees in the casuarina species are particularly useful. Large leaves that are covered in small hairs can also be efficient at removing droplets. Aim to provide foliage which extends from the base to the crown. Mixed plantings of trees and shrubs may be required to ensure that there are no gaps in the lower canopy.

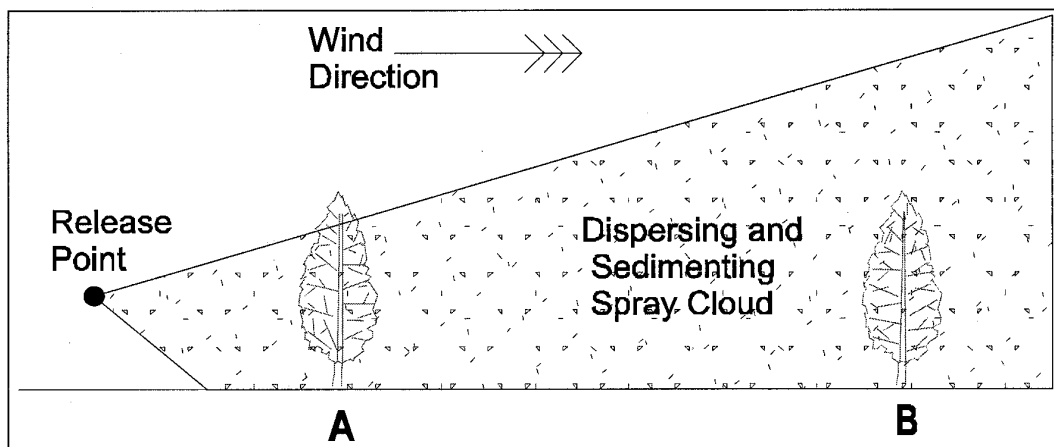
2. A porous buffer (which has sufficient air movement through the vegetation) will remove a greater number of spray droplets than a solid barrier. A porosity of about 50% should be sought (approximately 50% of the buffer should be air space).
3. As a general guide, the minimum height of the buffer should be double the release height of the chemical. For example, if chemicals are released at a height of 2.0 metres, then the buffer height should be at least 4.0 metres in height.



Optimum vegetative buffer dimensions

4. The wider the buffer the greater the effectiveness of the buffer in reducing spray drift.
5. The closer the buffer to the release point, the greater the proportion of spray which will be intercepted.

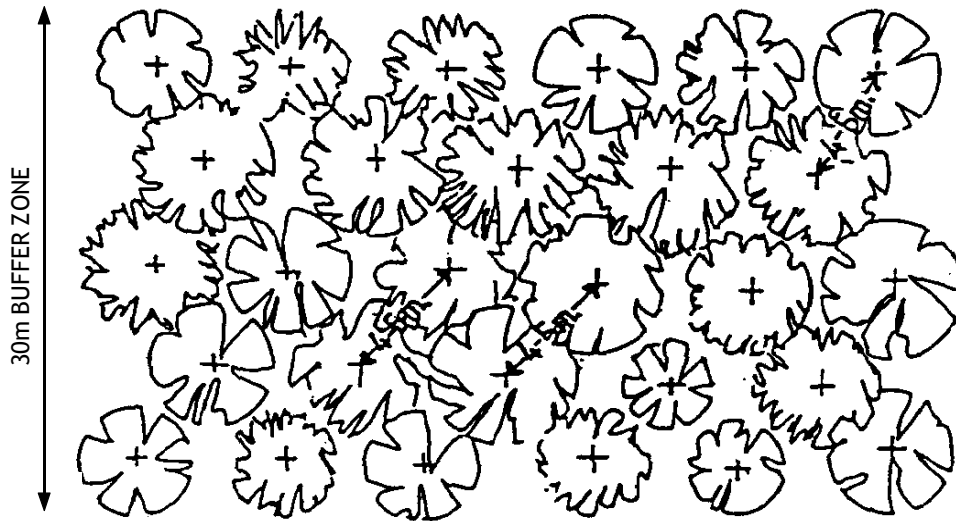
The vegetation buffer should, therefore, be as close as practical to the spray zone. (This can obviously create difficulties in instances where the onus is on the built development to provide the vegetation buffer. Each of those circumstances should continue to be considered on merit as currently required by this Chapter).



Effect of distance from release point

Source: Centre for Pesticide Application & Safety, 2000, *Draft National Guidelines for Spray Drift Reduction of Agricultural Chemicals*, University of Queensland.

VEGETATION CHEMICAL SPRAY DRIFT BUFFER SPECIFICATIONS



PLAN VIEW



SECTION VIEW

Source: Centre for Coastal Management, 1995, P. 74.

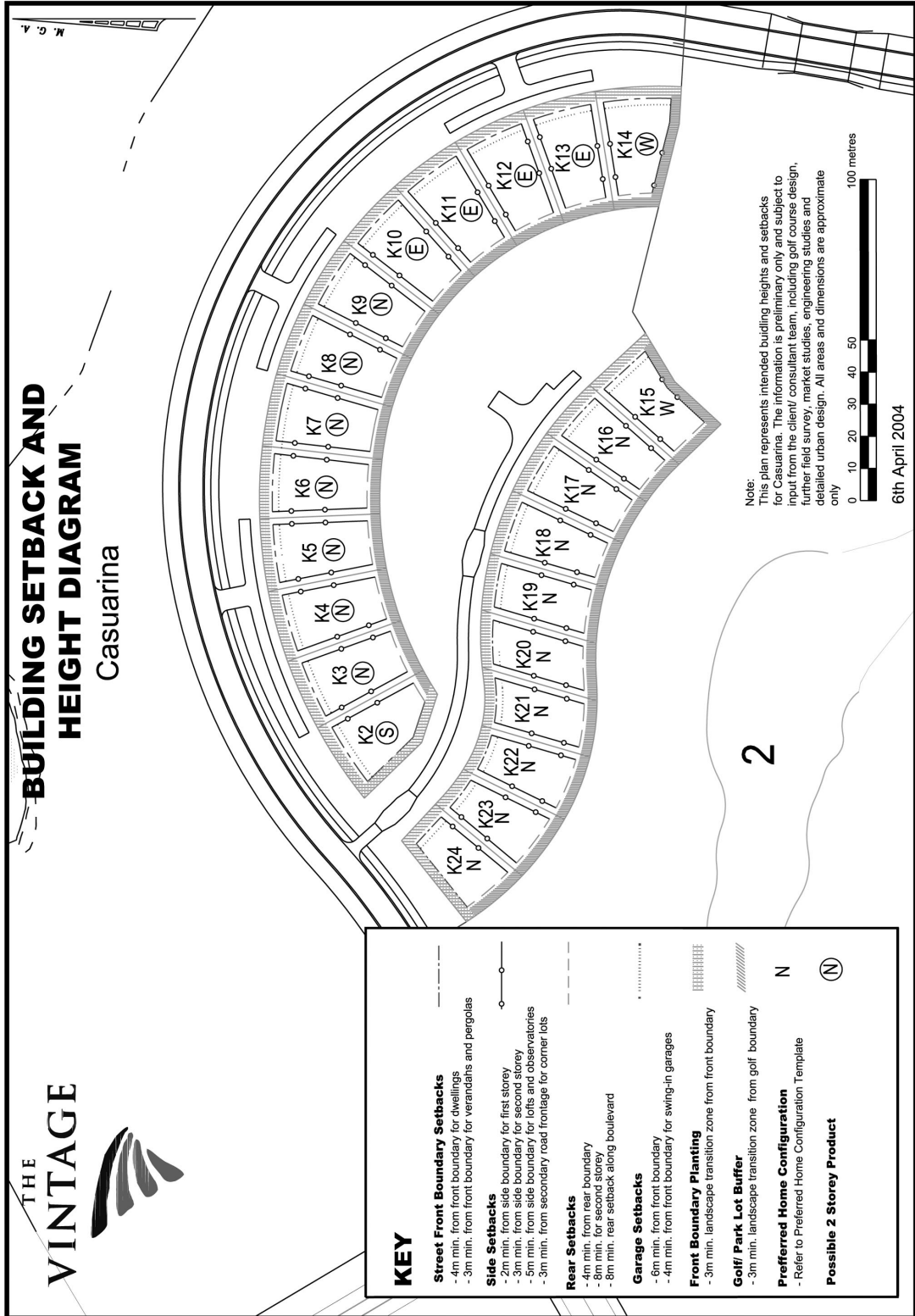
RECOMMENDED VEGETATION SPECIES FOR VEGETATION CHEMICAL SPRAY DRIFT BUFFERS

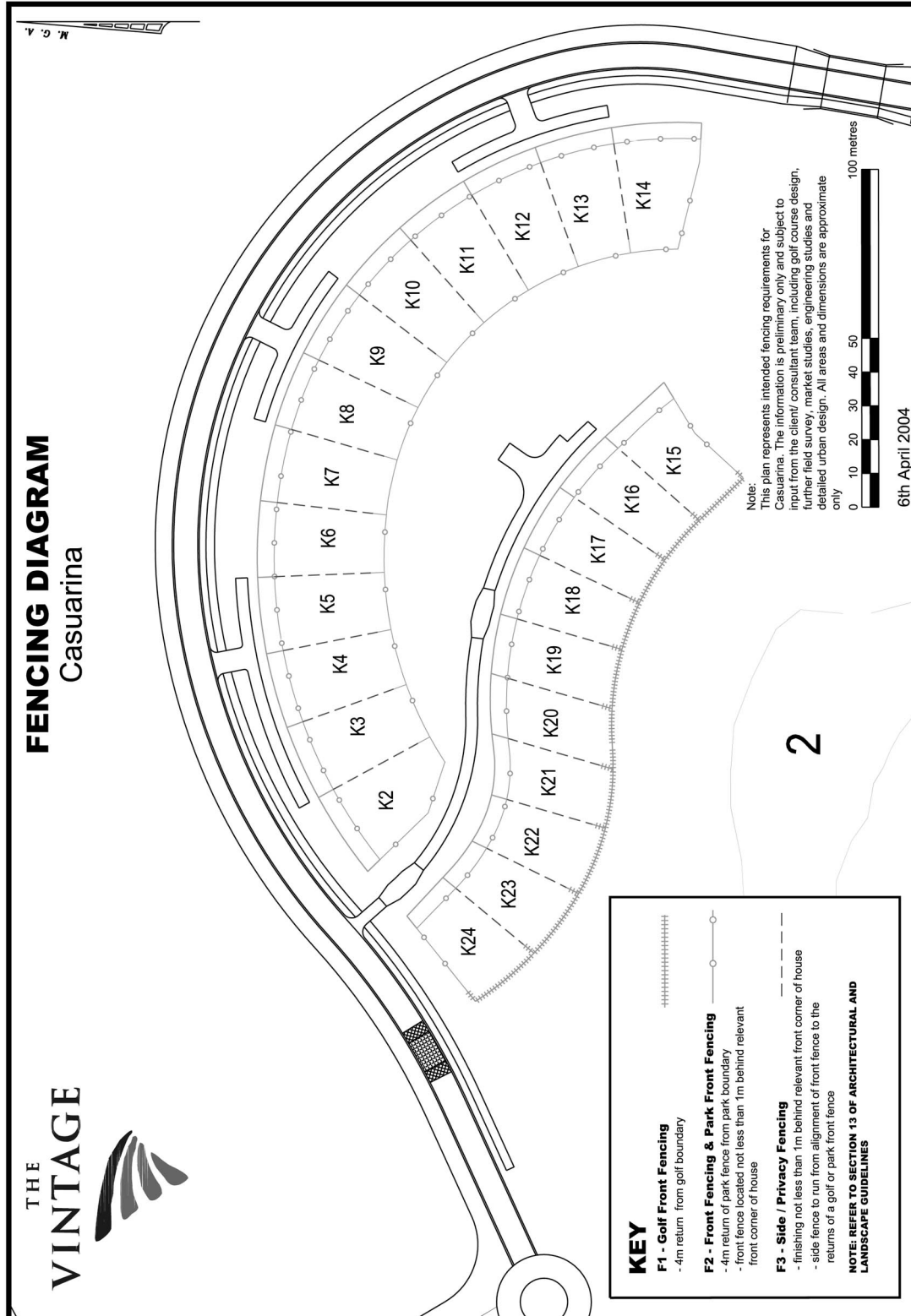
Tree / Shrub	Height	Growth Rate	Soil
Broadleaved Hickory <i>Acacia falciformis</i>	5 to 12 metres	Fast	Sandstone and rocky soils.
Fern Leaf Wattle <i>Acacia filicifolia</i>	6 to 10 metres	Fast	Grows best in clay loam, silt.
Fringed Wattle <i>Acacia fimbriata</i>	10 to 15 metres	Fast	Grows best on deep moist acid soil.
Sydney Golden Wattle <i>Acacia longifolia</i>	5 to 6 metres	Fast	Prefers moist, acid soils, but grows in other conditions.
Blackwood <i>Acacia melanoxylon</i>	10 to 20 metres	Fast	Grows best on deep moist acid soil.
Parramatta Green Wattle <i>Acacia parramattensis</i>	to 8 metres	Fast	Dry, shallow sandy or clay soils.
Silver Stemmed Wattle- <i>Acacia parvipinnula</i>	to 10 metres	Fast	Sandy soils, especially along creek Lines.
Black Oak <i>Allocasuarina littoralis</i>	8 to 10 metres	Moderate	Grows well on both poor and well drained acid soils.
Forest Oak <i>Allocasuarina torulosa</i>	15 to 20 metres	Moderate	Will grow on light soils but suited to the better types.
Honeysuckle <i>Banksia integrifolia</i>	12 to 18 metres	Fast	Poor, low phosphorous soil (don't fertilise), well or poorly drained soil.
White Bottlebrush <i>Callistemon salignus</i>	5 to 7 metres	Fast	Light to heavy soil. Frost tolerant.
White Cyprus <i>Callitris columellaris</i>	10 to 20 metres	Moderate	Frost resistant, prefers sandy loamy soil.
River Oak <i>Casuarina Cunninghamiana</i>	10 to 20 metres	Fast	Good, well drained loam, needs plenty of moisture, responds to irrigation.
Swamp Oak <i>Casuarina glauca</i>	10 to 12 metres	Fast	Moist, will grow on marshy or saline soil / poorly drained pug.
Tuckeroo- <i>Cupaniopsis Anacardioides</i>	5 to 10 metres	Fast (if fertilised)	Good to medium heavy clay and loamy Soils.
Hop Bush <i>Dodonaea triquetra</i>	to 2 metres	Moderate - fast	Grows best in heavy soil.
Red Bloodwood <i>Eucalyptus gummifera</i>	18 to 30 metres	Fast	Hardy, grown on a wide range of soils.
Willow Leaf Hakea <i>Hakea salicifolia</i>	5 to 7 metres	Fast	Grows well on acid soils with good Drainage.
Lemon Scented Tea Tree- <i>Leptospermum Petersonii</i>	6 to 10 metres	Fast	Light to heavy soil but not waterlogged, responds to hedging.
Paperbark Tea Tree <i>Leptospermum Petersonii</i>	10 to 12 metres	Moderate	Grows well in most soils.
Broad Leaved Paperbark- <i>Melaleuca quinquenervia</i>	15 to 20 metres	Fast	Light to medium clay, low frost tolerant, can withstand heavy and long term flooding.
Prickly Leaved Paperbark- <i>Melaleuca styphelioides</i>	5 to 8 metres	Moderate	Grows well on damp brackish soils and heavy clays.
Sticky Daisy Bush <i>Olearia elliptica</i>	to 1 metre	Moderate	Grows well in sandy / light loam soil.

Sources: Centre for Coastal Management, 1995.

NOTE: These planting guidelines apply only to the Chemical Spray Drift Buffer areas and not to other locations within 'The Vintage'.

APPENDIX B
ARCHITECTURAL AND LANDSCAPE GUIDELINES





The Lots within Casuarina are affected by the Bushfire Management Plan. Owners must refer to the Bushfire Hazard & Threat Assessment Casuarina Project – The “Vintage”, Pokolbin R.A. Free, BSc.(For),Dip.For.,F.I.F.A. Bushfire Management Consultant Date 24th May, 2004.

Architectural Requirements	Complies? Yes/No or N/A	Reasoning/ Request for more information
1.0 Heritage and environment		
2.0 Building requirements		
2.1 Building time		
2.2 Severance and subdivision and consolidation		
2.3 Bush fire management		
3.0 Designing for energy efficiency		
3.1 Scale		
3.2 Orientation and siting		
3.3 Cross ventilation		
3.4 Solar amenity		
3.5 Thermal control		
3.6 Water heating		
3.7 Native planting themes		
4.0 Energy efficiency		
4.1 Energy conservation		
4.2 Water conservation		
5.1 Sketch Design Plans		
6.0 Building style		
6.1 Golf course residential façade		
6.2 Corner Lots		
6.3 External Plumbing		
7.0 Building siting and scale		
7.1 Siting		
7.2 Site coverage		
7.3 Minimum floor area		
7.4 Building height		
7.5 Golf frontage homes		
7.6 Finished floor levels		
7.7 Length of wall		

8.0	Building setbacks		
8.1	Setback regulations		
8.2	Street front boundary		
8.3	Side boundary		
8.4	Rear boundary		
8.5	Golf and parkland boundary		
8.6	Golf and parkland front lot buffer		
8.7	Garage setbacks		
8.8	Driveways		
8.9	Golf cart track/driveways		
9.0	Privacy		
9.1	Considerations		
9.2	Windows		
9.3	Verandas		
9.4	Screening		
9.5	Verandas and related elements		
10.0	Building colours and materials		
10.1	Balanced palette		
10.2	Solid wall construction and colours		
10.3	Wall insulation		
10.4	Window and door construction and colour		
10.5	Reflective tinting		
10.6	Ventilation		
10.7	Roof construction and colour		
10.8	Roof pitch		
10.9	Ceiling insulation		
10.10	Eave overhang		
10.11	Gutters and downpipes		
10.12	Garage doors		

10.13 Sunshades		
10.14 Rainwater tanks		
Landscaping Requirements	Complies? Yes/No or N/A	Reasoning/ Request for more information
11.1 Native planting themes		
11.2 Exotic planting material		
11.3 Front buffer zone		
11.4 Intermediate front buffer zone		
11.5 General planting zone		
11.6 Rear buffer zone		
11.7 Parkland buffer zone		
11.8 Street zone		
12.0 Landscape Elements		
12.1 Features		
12.2 Absorbent landscaping		
12.3 Mulching		
12.4 Tree retention		
12.5 Driveways and visitor parking		
12.6 Pleasant outlook		
13.0 Fencing		
13.1 Vintage preferences		
13.2 Golf front fencing		
13.3 Park front fencing		
13.4 Street front fencing		
13.5 Secondary street/corner lots		
13.6 Side/privacy fencing		
13.7 Pool fencing		
14.0 Enclosed Service Courtyard		
14.1 General		
14.2 Air conditioners		
14.3 Solar water heaters		
14.4 Rain water tanks		

15.0 Ancillary structures		
15.1 Outdoor structures		
15.2 Pools		
15.3 Retaining walls		
15.4 Letterboxes		
15.5 Television/radio/satellite		
15.6 Lighting		
15.7 Temporary structures		
15.8 Signs		

Building Requirements	Complies? Yes/No or N/A	Reasoning/ Request for more information
16.1 Construction bond/application		
16.2 Signage		
16.3 Fencing		
16.4 Vehicle access		
16.5 Adjoining property		
16.6 Site control		
16.7 Stockpiles		
16.8 Building waste and spillage		
16.9 Stormwater and pollution control		
16.10 Amenities		
16.11 Dogs prohibited		

Community Requirements	Complies? Yes/No or N/A	Reasoning/ Request for more information
17.1 Maintenance of property		
17.2 Construction and maintenance of facilities		
17.3 Community facility approval		

ASSESSMENT CERTIFICATE

Date of Certificate:		Certificate Reference:	
-----------------------------	--	-------------------------------	--

Owner:		Architect:		Precinct		Lot No:	
Referenced Drawings							
Designer:							
Drawing ref:		Date:					

The Design Review Committee for **(PRECINCT)** has reviewed the Sketch Design Review Application for **(Lot)** and hereby advises that the application has been:

<input type="checkbox"/>	Approved:						
<input type="checkbox"/>	Not Approved due to the following:						
		A response to the DRC is required prior to lodgement of a Development Application or Construction Certificate with Cessnock City Council.					
<input type="checkbox"/>	Approved, subject to the following:						
DRC Representative's signature						Date	
Cessnock City Council Representative						Date	

Lot Number:		Street:			
Owner details					
Name:					
Address:				Postcode:	
Contact No:	Home:	{ }	Mobile:		
	Business:	{ }	Fax:	{ }	
Architect's details					
Name:					
Address:				Postcode:	
Contact No:	Home:	{ }	Mobile:		
	Business:	{ }	Fax:	{ }	
Landscape Architect's details					
Name:					
Address:				Postcode:	
Contact No:	Home:	{ }	Mobile:		
	Business:	{ }	Fax:	{ }	
Builder's details					
Name:					
Address:				Postcode:	
Contact No:	Home:	{ }	Mobile:		
	Business:	{ }	Fax:	{ }	
Attachments Please ensure that two (2) sets of the following are included					
Council approved plans				<input type="checkbox"/>	
Sketch Design Review Application form (approved)				<input type="checkbox"/>	
Sketch Design Materials and Finishes List (approved)				<input type="checkbox"/>	

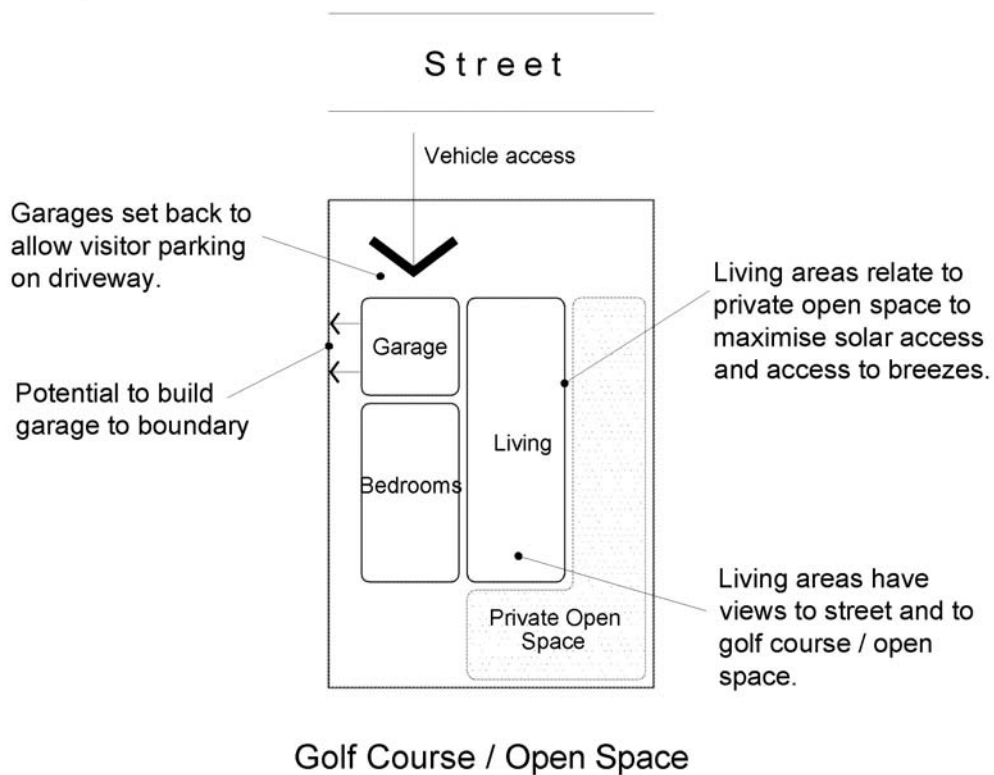


Appendix C Construction Commencement Application Form

Also:			
Construction Bond cheque made payable to the Community Association. (Contact the Association for details about the specific amount of the bond.)			<input type="checkbox"/>
Submission details			
Signature		Date submitted	

Please forward this form, attachments and Construction Bond cheque to: The Vintage DRC, Community Managers.

(PHC-1)



North Entry (Traditional Lot - Minimum 17m width)

Notes:

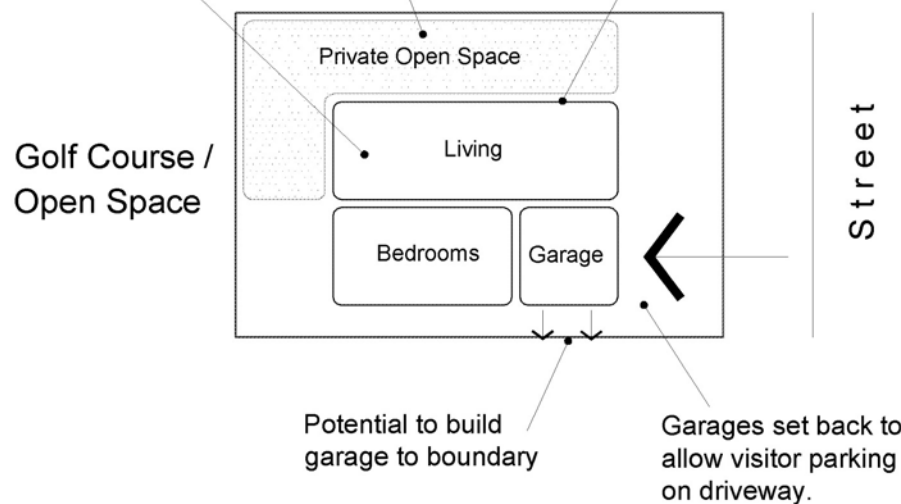
- This information represents conceptual housing configurations to guide the design of housing in the Vintage Residential Golf Community.
- The intent of these configurations is to maximise the comfort, enjoyment and energy efficiency of homes. The principle strategy is to design for climate but also to arrange components of the dwelling for maximum lifestyle amenity. Comfort can be achieved through the ability of householders to manage solar access and breezes within their dwelling.
- The following performance criteria aim to achieve this intent (see notes on diagrams):
 - * The main living areas of a house (ie lounge, dining room, family room, kitchen, and principle area of open space) are orientated towards the north for solar penetration during winter;
 - * Living areas are arranged to reduce exposure to prevailing winds and weather but provide access to cooling breezes in summer;
 - * Living areas of dwellings have a direct relationship with their private open spaces;
 - * Minimise southern and western boundary setbacks to maximise private open space with northerly aspect;
 - * Living areas have views to street and golf course / open space to optimise household amenity and security of public places.
 - * Garages are set back from the front boundary to allow for driveway visitor parking and alleviate on-street parking congestion.

(PHC-2)

Living areas have views to street and to golf course / open space.

Private open space has northerly aspect.

Living areas relate to private open space to maximise solar access and access to breezes.

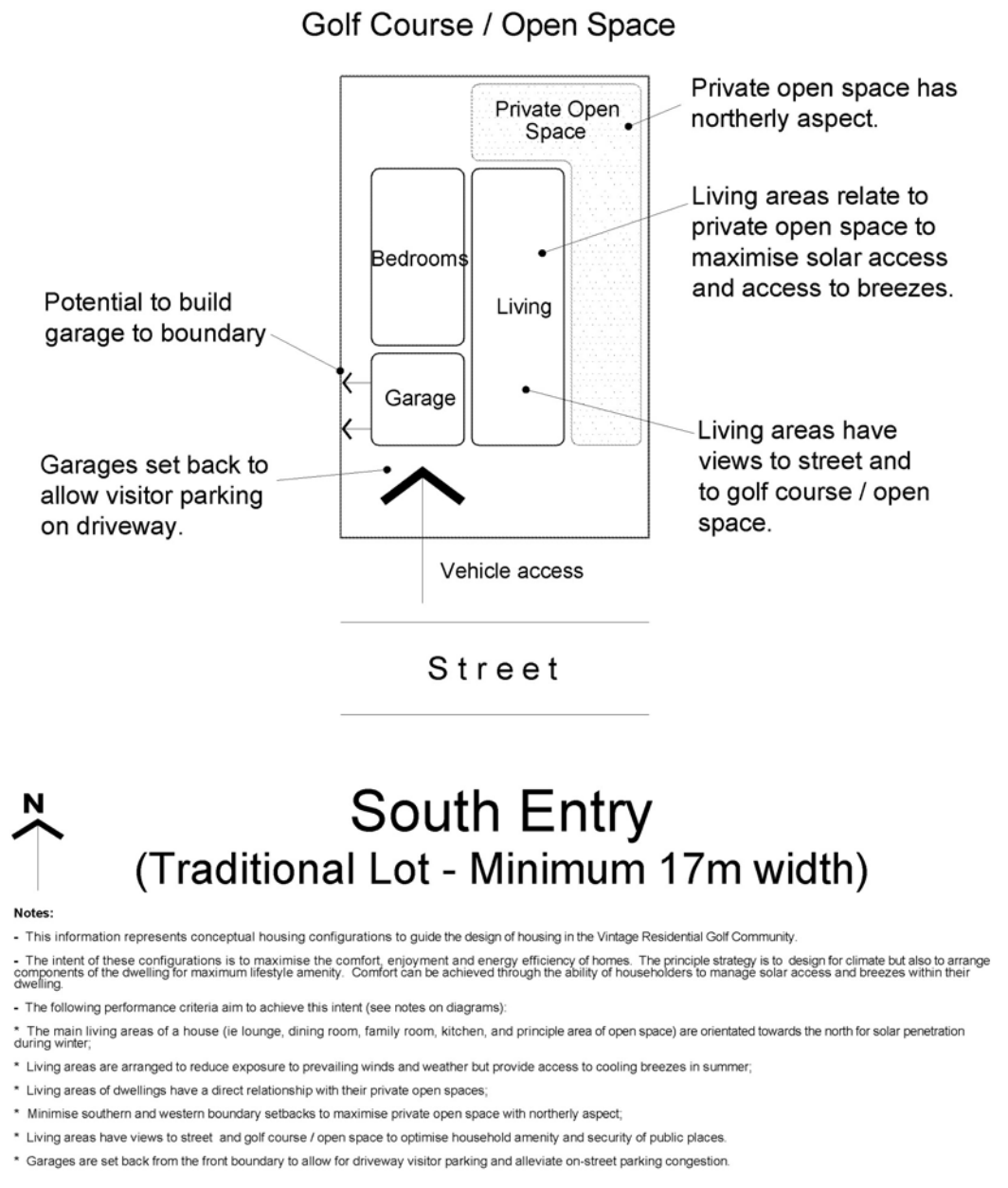


East Entry (Traditional Lot - Minimum 17m width)

Notes:

- This information represents conceptual housing configurations to guide the design of housing in the Vintage Residential Golf Community.
- The intent of these configurations is to maximise the comfort, enjoyment and energy efficiency of homes. The principle strategy is to design for climate but also to arrange components of the dwelling for maximum lifestyle amenity. Comfort can be achieved through the ability of householders to manage solar access and breezes within their dwelling.
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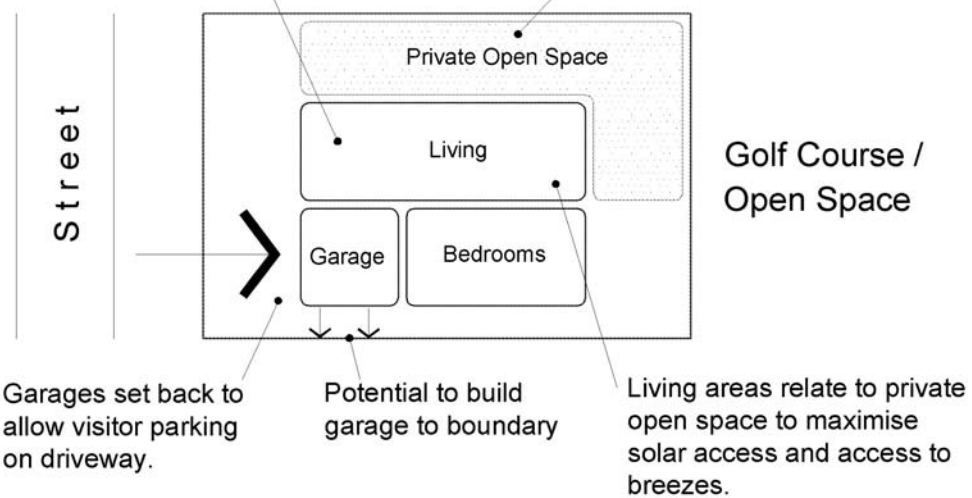
(PHC-3)



(PHC-4)

Living areas have views to street and to golf course / open space.

Private open space has northerly aspect.

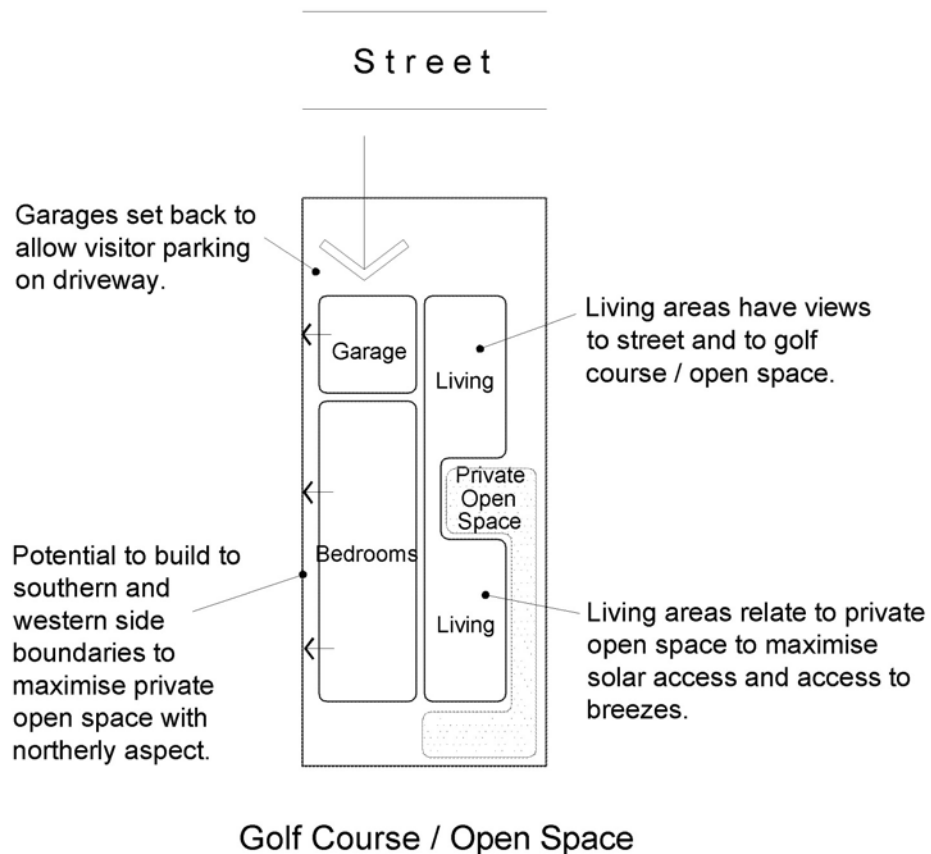


West Entry (Traditional Lot - Minimum 17m width)

Notes:

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- The intent of these configurations is to maximise the comfort, enjoyment and energy efficiency of homes. The principle strategy is to design for climate but also to arrange components of the dwelling for maximum lifestyle amenity. Comfort can be achieved through the ability of householders to manage solar access and breezes within their dwelling.
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 - * The main living areas of a house (ie lounge, dining room, family room, kitchen, and principle area of open space) are orientated towards the north for solar penetration during winter;
 - * Living areas are arranged to reduce exposure to prevailing winds and weather but provide access to cooling breezes in summer;
 - * Living areas of dwellings have a direct relationship with their private open spaces;
 - * Minimise southern and western boundary setbacks to maximise private open space with northerly aspect;
 - * Living areas have views to street and golf course / open space to optimise household amenity and security of public places.
 - * Garages are set back from the front boundary to allow for driveway visitor parking and alleviate on-street parking congestion.

(PHC-5)



North Entry (Narrow Lot - Less than 17m width)

Notes:

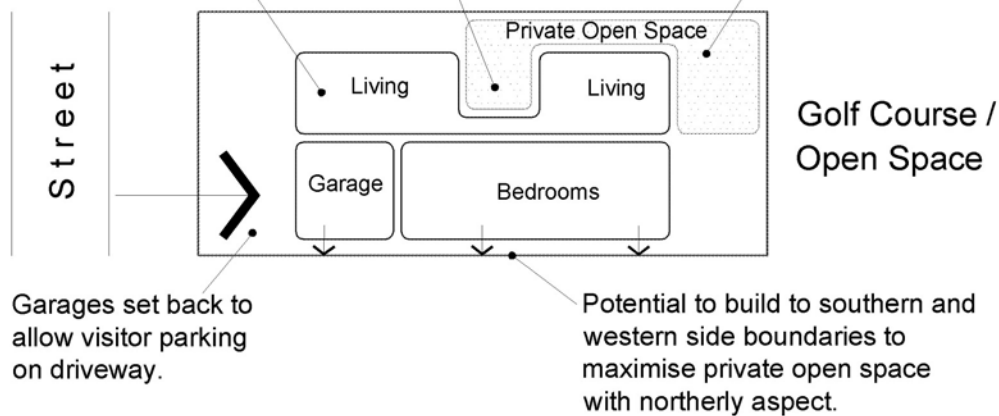
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- The intent of these configurations is to maximise the comfort, enjoyment and energy efficiency of homes. The principle strategy is to design for climate but also to arrange components of the dwelling for maximum lifestyle amenity. Comfort can be achieved through the ability of householders to manage solar access and breezes within their dwelling.
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(PHC-6)

Living areas have views to street and to golf course / open space.

Living areas relate to private open space to maximise solar access and access to breezes.

Private open space has northerly aspect.



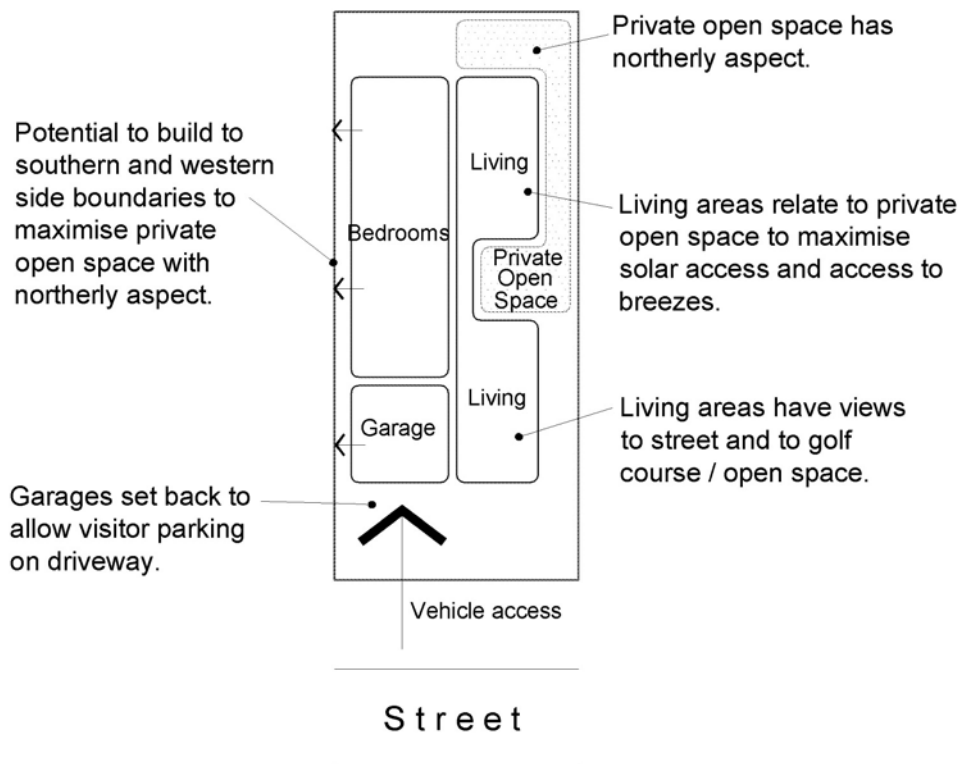
West Entry (Narrow Lot - Less than 17m width)

Notes:

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(PHC-7)

Golf Course / Open Space

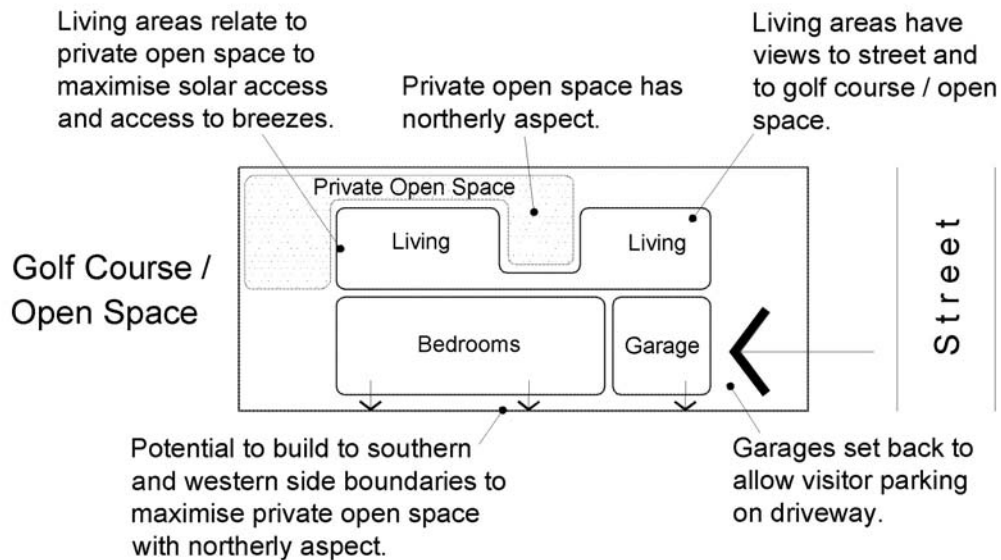


South Entry (Narrow Lot - Less than 17m width)

Notes:

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 - * Living areas of dwellings have a direct relationship with their private open spaces;
 - * Minimise southern and western boundary setbacks to maximise private open space with northerly aspect;
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(PHC-8)

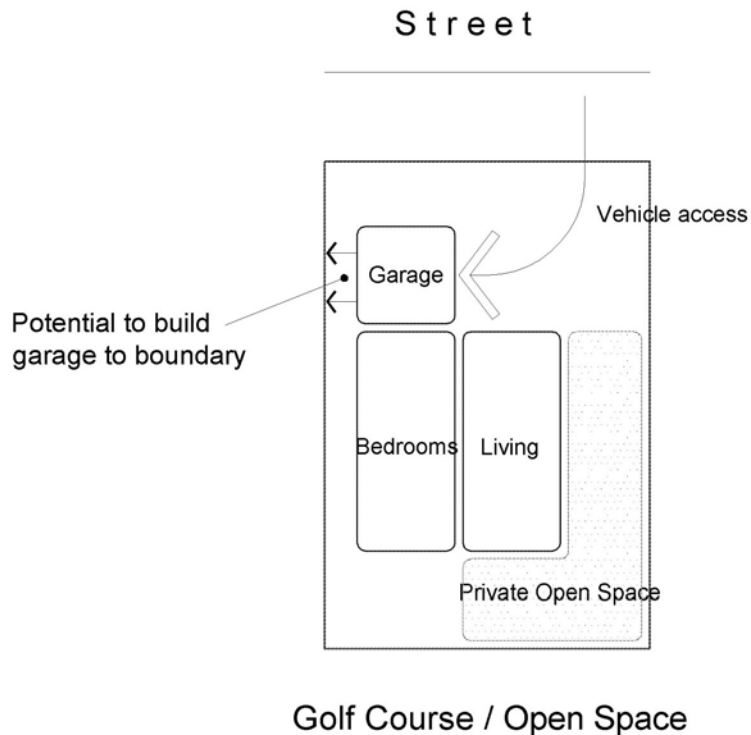


East Entry (Narrow Lot - Less than 17m width)

Notes:

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- The intent of these configurations is to maximise the comfort, enjoyment and energy efficiency of homes. The principle strategy is to design for climate but also to arrange components of the dwelling for maximum lifestyle amenity. Comfort can be achieved through the ability of householders to manage solar access and breezes within their dwelling.
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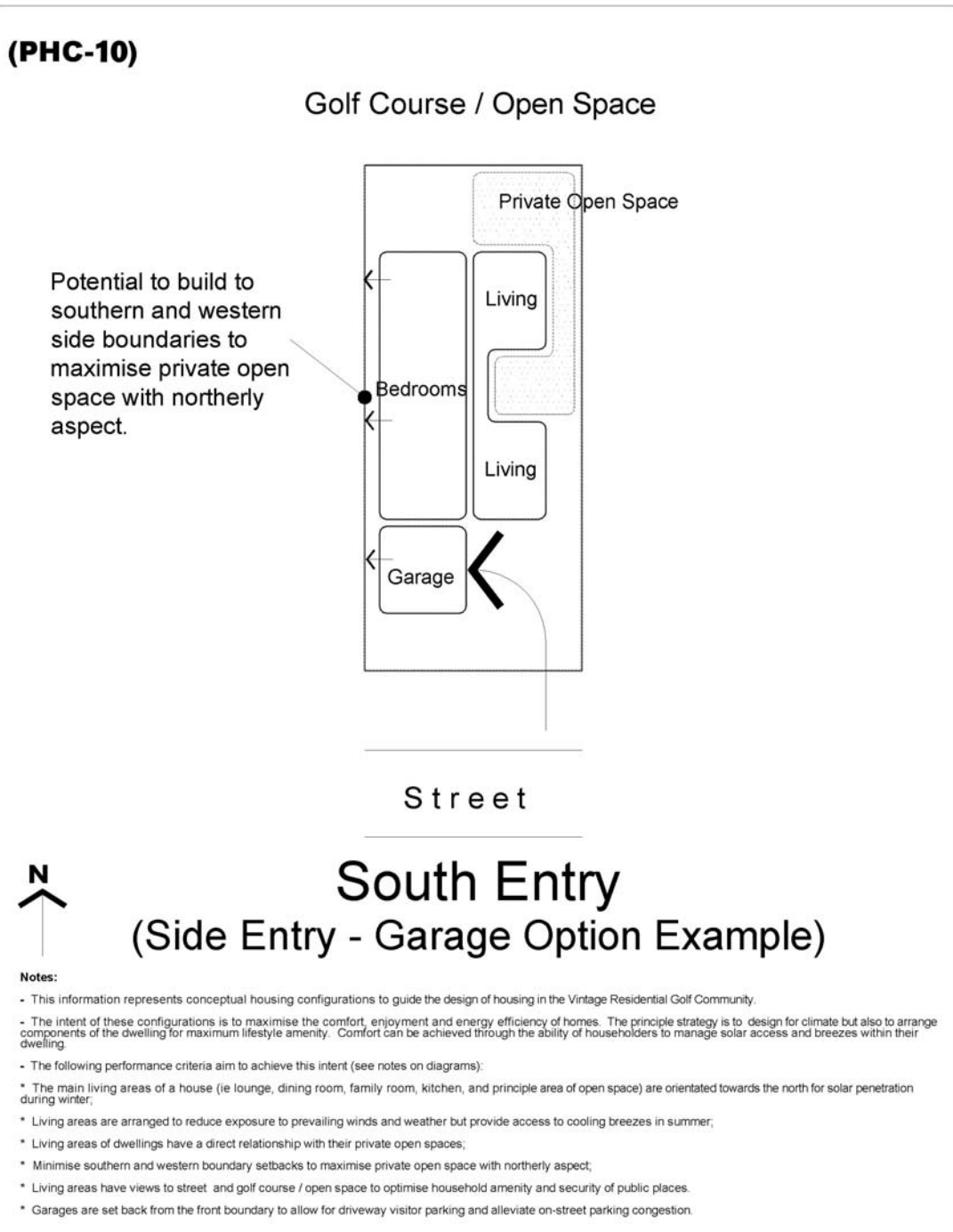
(PHC-9)



North Entry (Side Entry - Garage Option Example)

Notes:

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 - * Living areas have views to street and golf course / open space to optimise household amenity and security of public places.
 - * Garages are set back from the front boundary to allow for driveway visitor parking and alleviate on-street parking congestion.



Lot Number:		Street:	
--------------------	--	----------------	--

Identify the proposed materials and colours as noted below. Include pertinent information or samples such as photographs or cut sheets. Include colour sample board for all painted, stained or factory coloured materials.

Elements	Description
Balustrade	
Chimney	
Doors: Main entrance	
Other	
Driveway	
Pathways	
Garage door	
Fence gates	
Gutter	
Lighting	
Deck	

Roofing			
Shutters			
Soffit Walls			
Windows			
Submission details			
Signature		Date submitted	

Lot Number:		Street:			
Owner details					
Name:					
Address:				Postcode:	
Contact No:	Home:	{ }	Mobile:		
	Business:	{ }	Fax:	{ }	
Architect's details					
Name:					
Address:				Postcode:	
Contact No:	Home:	{ }	Mobile:		
	Business:	{ }	Fax:	{ }	
Landscape Architect's details					
Name:					
Address:				Postcode:	
Contact No:	Home:	{ }	Mobile:		
	Business:	{ }	Fax:	{ }	
Builder's details					
Name:					
Address:				Postcode:	
Contact No:	Home:	{ }	Mobile:		
	Business:	{ }	Fax:	{ }	
Attachments Please ensure that four (4) sets of the following are included in your submission					
Site plan (and landscape layout)				<input type="checkbox"/>	
Floor plan				<input type="checkbox"/>	
Front, rear and side elevations				<input type="checkbox"/>	
Area schedules				<input type="checkbox"/>	

Please ensure that the following are also included in your submission:			
Completed Sketch Design Materials Finishes List			<input type="checkbox"/>
Board of external finishes materials and colours			<input type="checkbox"/>
Contour and Boundary Survey			<input type="checkbox"/>
Adherence to the guidelines			
Have your Architect and Landscape Architect read and adhered to the Guidelines? If not, contact Vintage Assist before submitting this form to discuss.			
Architect:	<input type="checkbox"/> Yes <input type="checkbox"/> No	Landscape Architect	<input type="checkbox"/> Yes <input type="checkbox"/> No
Submission details			
Signature		Date submitted	
DRC Approval		Date	

Please forward this form and attachments to: The Vintage DRC, Community Managers.

Lot Number:		Street:	
Owner details			
Name:			
Address:			Postcode:
Contact No:	Home:	{ }	Mobile:
	Business:	{ }	Fax: { }
Architect's details			
Name:			
Address:			Postcode:
Contact No:	Home:	{ }	Mobile:
	Business:	{ }	Fax: { }
Landscape Architect's details			
Name:			
Address:			Postcode:
Contact No:	Home:	{ }	Mobile:
	Business:	{ }	Fax: { }
Builder's details			
Name:			
Address:			Postcode:
Contact No:	Home:	{ }	Mobile:
	Business:	{ }	Fax: { }

I certify that the structure on the Lot conforms to the drawings approved by the DRC. All site work, landscaping, cleaning, removal of temporary utilities and repair of damage to rights-of-way and common areas has been implemented.

Submission details			
Signature		Date submitted	



Architectural and Landscape Guidelines



THE
VINTAGE





Welcome home to The Vintage

Congratulations on your decision to make The Vintage a part of your life.

We have developed these Architectural and Landscape Guidelines to help you feel right at home when designing your new residence at The Vintage. Their purpose is to safeguard the future of a most important asset - your home - for now and the future.

These Guidelines will step you through the process of designing your home, from deciding on the style and size of home you require, understanding the technical specifications we require your architect and landscape designer to meet, through to the final approval and building stages.

Remember, your Community Association Manager is on hand to help you every step of the way.

THE
VINTAGE



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“Our aim at The Vintage is to retain the Hunter Valley charm and create a unique place to live, through the successful design and integration of homes, landscape and our championship golf course.”

The Vintage Vision

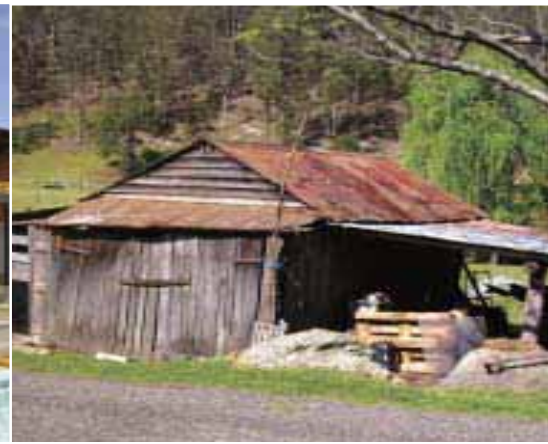
Unique environment, unique heritage, unique design

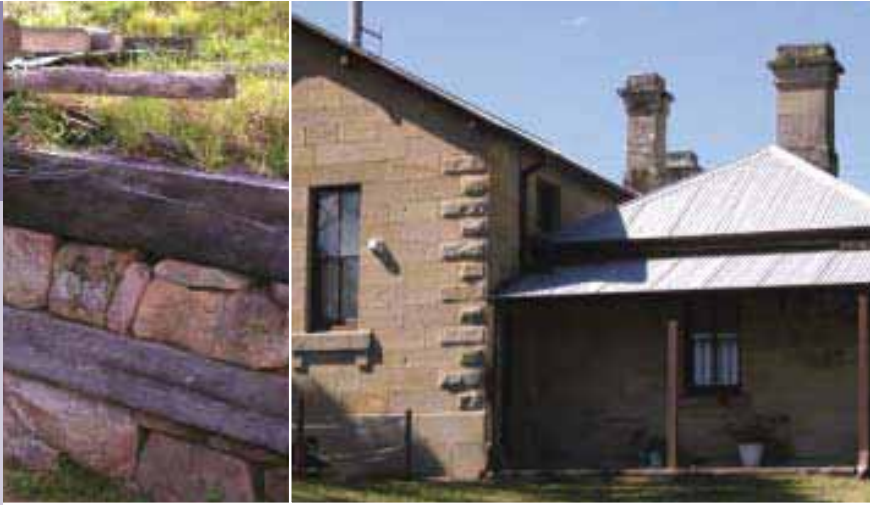
Our Vision for The Vintage is one of integration with the natural environment. It celebrates the relaxed, yet sophisticated character of the Hunter Valley, widely recognised and sought out by lovers of wine, leisure, history and nature. It is a vision of a community fostered by friendly, open design, encouraging individuality and active participation within wide open spaces.

Like you, as Owners of this development, we are custodians of this unique environment. We have an obligation to maintain these unique characteristics and uphold the region's reputation as that of a premier lifestyle destination.

Spend a weekend in the Hunter Valley visiting wineries, museums and traditional buildings or simply driving around the area to absorb and understand The Vintage Vision.

You can see here how the inspiration for these modern rural homes has come from historical structures in the Hunter Valley.





“Buildings will be low-scale, using simple architectural design principles to create enjoyable and comfortable living environments.”

Elements reflecting heritage and environment

- 1.1 Our Vision for The Vintage draws on materials, textures and architectural forms unique to the Hunter Valley. We envisage that homes will:
 - be low-scale and architect designed specifically for each Lot and of a rural character which complements The Vintage Vision.
 - maximise the potential of the Lot but will not encroach on the privacy or views of other Owners.
 - complement the Golf Course interface areas.
 - incorporate environmentally responsive design for the local climatic conditions, including generous shaded spaces and well designed eave overhangs.
- incorporate indoor-outdoor living and entertaining spaces.
- be constructed with a palette of materials used in traditional Hunter Valley architecture such as stone and timber
- use unobtrusive roof forms.
- use native landscaping themes that reflect the informal, open, rural character of the Hunter Valley and blend effortlessly with the Golf Course and parkland areas.



Designs that capture the Vision

1.2 As you can see from these homes, our Vision for The Vintage is one of low scale buildings that incorporate simple yet striking architectural design principles. They employ an interesting and individual application of timber, stone and iron that blends with the existing natural, rural environment. The result is a high quality, low maintenance finish.

These individually architect designed homes differ markedly from mainstream project homes you may find in the more condensed, suburban areas of our larger cities.

The Vintage Vision contrasts with that of other mainstream developments. Unfortunately, mainstream project homes are rarely designed with a focus on site-

specific suitability or individuality. They do not respond to the requirements of hot and cold climates, and their materials and facades are not in keeping with our Vision of a semi-rural estate, such as The Vintage.

Mainstream project homes are rarely designed with a focus on site-specific suitability or individuality, and their materials and facades are not in keeping with our Vision.





“Views will be filtered through nurtured natural landscape buffers.”

Developing our Vision, together

1.3 The Vintage has been cleverly designed by a master planner with the same precision and care Greg Norman used in designing our premier Golf Course. Each of the 482 home sites has generous views of the championship Golf Course, parkland or the surrounding countryside.

Together we are designing neighbourhoods, not just houses

1.4 Each Lot has been individually evaluated to establish building heights and set backs, with the scale, location and character of fences to maintain views and privacy.

This level of detail means we will avoid a sea of rooves and enable all residents access to views, warming sunlight and cooling breezes.

Are these Guidelines necessary?

1.5 The Vintage is the only residential development of its kind permitted in this region by Council. Together we have developed these Guidelines with the Council to ensure we positively contribute to the Hunter Valley community and uphold its reputation as a premier lifestyle destination.

These Guidelines have been designed to protect the unique qualities of your home and site – now and into the future.

They ensure both you and your neighbours use appropriate passive design principles, materials, scale and landscaping.





These Guidelines are legally binding as part of your contract of sale and apply to new dwellings as well as to any Improvements or additions that may be made in future. They are subject to and do not override the Management Statement or local or state statutory requirements.

They must be followed if your proposed home is to be approved by the Design Review Committee (DRC).

Adhering to these Guidelines will speed up the approval process for you.

Your Community Association Manager is on hand to help you and your architect use these requirements.

What do the Guidelines cover?

- 1.6 Included with the Guidelines are the Lot Evaluation Sheets for your particular Lot:
- a Preferred Home Configuration Diagram
 - Building Setbacks and Height Diagram
 - Fencing Diagram.

Lot evaluations will assist you and your architect to achieve the most efficient and functional use of a Lot whilst ensuring the protection and enhancement of other Lots in The Vintage.

Preferred home configurations represent the most desirable orientation for homes, particularly for outdoor living and recreation areas.

Who enforces these Guidelines?

- 1.7 The DRC has been established to help you and your architect work to the Guidelines. The DRC has the power to enforce these Guidelines. Strong relationships have been nurtured between Council, The Vintage development team and builders to assist with implementing The Vintage Vision. Council will not grant approval to build at The Vintage without unconditional DRC approval of your architectural and landscape design plans.

Refer to your Management Statement for details of DRC membership.

The DRC meets on a regular basis to discuss, approve or decline building and/

or landscaping Applications and may seek advice of consultant architects and consultant landscape architects outside the committee. A DRC representative will be available by appointment to you, your builder or architect, to discuss any matters raised during these meetings that affect you or your property. This includes any objections that you may have raised to neighbouring developments.

Appointments with a DRC representative may be made through the Community Association.

The DRC retains the discretion to consider designs and materials for Improvements whether or not prescribed by these Guidelines on their merit and on a case by case basis.

Your quick guide to building at The Vintage

PHASE 1

1. Review these Guidelines and start thinking about what you want in your home.

The Vintage Vision (page 3) and **Thinking about your new home** (page 9) provide you with lots of ideas about what you want in your home at The Vintage and what we are looking for to support The Vintage Vision.

PHASE 2

2. Give a copy of the Guidelines to your architect and landscape architect and ask them to adhere to them to assist approval through the DRC.
3. Prepare initial schematic design sketches for your home and landscaping with your selected architect and landscape architect.

Architectural requirements (page 15) and **Landscape requirements** (page 25) provide you, your architect and landscape architect details of what must be included in your design. These requirements must be adhered to if your design is to be approved by the DRC and subsequently by Council. Your architect/landscape architect will take these away to work with on your schematic design sketches. **Designs will not be approved by Council until DRC has given their approval.**

Failure to adhere to the Guidelines will cause delays in gaining approvals and may result in the payment of additional fees to have your plans reassessed.

PHASE 3

4. Contact the Community Association Manager to arrange a preliminary design presentation meeting with the DRC consultant architect.
5. Prepare the DRC forms ensuring your architect and landscape architect have made all required selections and provided all required details.
6. Submit your DRC Application and accompanying information to the Community Association Manager. No fee is required for the first submission. The DRC will make a decision on your plans and notify you accordingly.
7. When the DRC approves your plans you can make the relevant applications to Council. Council will not approve your plans for construction or DA until you give them the DRC stamped and approved architectural and landscape plans.
8. Forward Council approved plans and security bond cheque to DRC to ensure any amendments are consistent with the requirements and DRC approval.

Submitting your plans for approval (page 39) details the approval process.

The **Sketch Design Review Application** form and **Sketch Design Materials - Finishes List** form are in the back of these Guidelines.

PHASE 4

9. Commence construction.

Building your Vintage Home (page 41) outlines what is expected of you and your builder during the construction phase.

Thinking of your new home

There's more to designing a home than you may first think. Good design requires you to carefully consider:

- where best to site your house - including the internal configurations such as living and sleeping areas to make best use of the site's natural aspect and landscape
- appearance and overall style of the house and how it blends with the environment and Vision for The Vintage, both built and natural
- materials you will use to enhance the fit of your home within The Vintage Vision.

The information in these Guidelines must be followed if your proposed home is to be approved by the DRC.

Your Community Association Manager is always available to help you interpret the Guidelines.





Building requirements

To ensure that your lifestyle, views and investment are protected, we have placed requirements on the location, scale and height of homes on each Lot within The Vintage.

2.1 Building time

We want The Vintage to feel like home as soon as possible, so if there is no home already on the Lot, we encourage you to commence building within 24 months of buying the Lot:

- **construction MUST be completed within 12 months of construction commencement.**
- **front yard landscaping, driveways and all approved fences MUST be constructed in accordance with these Guidelines and must be completed prior to occupation of the Lot.**
- **the remainder of the landscaping within the Lot MUST be completed within 3 months of occupation of a dwelling.**

2.2 Severance, subdivision and consolidation of Lots

Only Development Lots may be subdivided. A Development Lot may be severed from the Community Scheme, subdivided or consolidated, in accordance with Community Legislation, by the Developer.

Consolidation of adjoining Lots for the development of a single detached dwelling will be reviewed by the DRC on merit and compliance with the Community Legislation.

2.3 Bush Fire Management

Some areas of The Vintage are affected by Bushfire legislation.

All Lot owners MUST comply with any relevant bushfire legislation, guidelines and approved management plans.

Lot owners should consult with Council regarding Bushfire issues pertaining to their Lot.

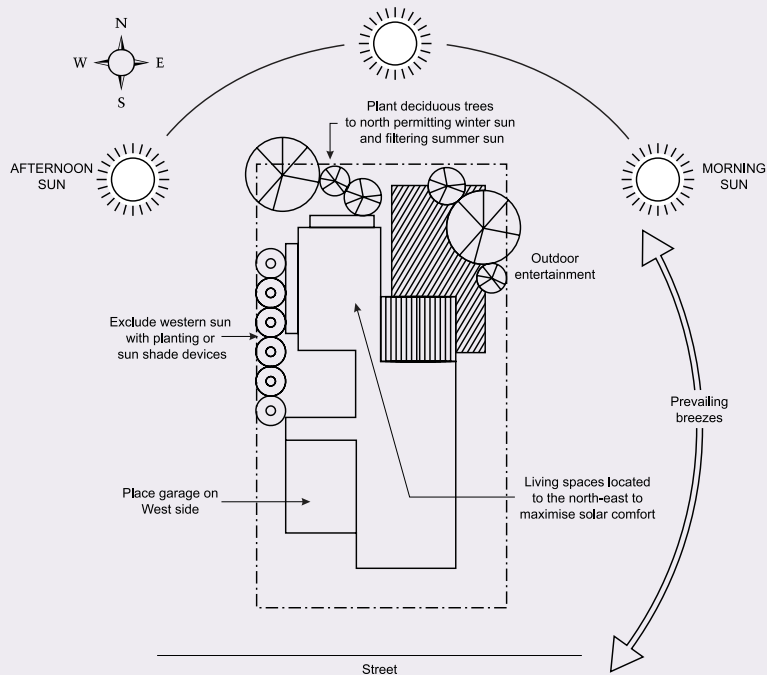




Native gardens require less water and maintenance than manicured exotics.

“Good design costs less in the long run.”

SITE PLANNING



The staggered form of the Burns Design Architecture home provides gains in energy efficiency and amenity.



This house design addresses the Hunter Valley's cold winters and hot summers.



Embracing good design

Good design is more than just good looks.

Our goal at The Vintage is to establish an energy efficient community, where residents will save valuable dollars in heating and cooling requirements during the year, enjoy the best environmental amenity available, and positively contribute to the reduction of greenhouse emissions.

A well designed home that works with the natural environment also works for you, by making the most of the unique characteristics of your site, the local climate and your views. Applying simple design and building techniques, can create a home which is more comfortable to live in year round and less expensive to run.

The DRC will review your plan to ensure you have adhered to energy efficiency principles, however compliance to statutory energy ratings will be required prior to your application to Council.

3.1 Designing for energy efficiency

3.1.1 Scale

In home design, bigger is not always better. A well designed home that suits your needs is much more practical and cost efficient than a large home with unnecessary voids or rarely used rooms.



3.1.2 Orientation and siting

Designing your home to suit the best configuration for your site will provide significant lifestyle and environmental benefits. Designing according to your site's Preferred Home Configuration Diagram (Appendix D) ensures your home will:

- avoid prolonged exposure to summer heat
- capture winter warmth
- maximise natural lighting, particularly to living areas
- maximise the area for private open space in the northern and eastern areas of a Lot.

3.1.3 Cross ventilation

Likewise, by designing a clear path through the dwelling you can take advantage of prevailing breezes and by using good construction techniques you can minimise drafts in the cooler months.

3.1.4 Solar amenity

Most of the heat from the sun will enter your home through your windows, so:

- minimise the number of windows on the west
- ensure plenty of windows in north facing rooms to capture the winter sun
- use external shading devices such as external louvers, batons, and awnings to provide protection from eastern (morning) and western (afternoon) sun
- position large shade trees to the north-east and north-west to provide summer shade to the walls and roof. Deciduous trees are ideal on the north side as they allow winter sun entry and provide a shady area for outside living in summer
- shade pergolas with deciduous vines to provide access to the winter sun

- use roof overhangs and window hoods to protect openings from the sun and provide shadow relief to building facades
- aim to make the most of natural lighting by using skylights and wall glazing.

3.1.5 Thermal control

Insulating your ceiling area, walls, windows and floor is an effective way of achieving energy efficiency, energy cost savings and year round comfort, helping you stay cool in summer and warm in winter.

3.1.6 Water heating

Water heating can account for up to 50% of a household's energy costs. Potential energy savings can be made in a dwelling by the incorporation of gas or solar water heaters.

Consideration should be made in weekend retreats to avoid heating water whilst the home is unoccupied.

3.1.7 Native planting themes

At The Vintage we aim to minimise our impact on the natural environment and to maintain the rural ambiance of the Hunter Valley. Our Guidelines have been designed to assist you in continuing our informal native theme to ensure we:

- minimise water use within community and private land
- attract native fauna
- blur the boundaries between your property, the Golf Course and parkland
- provide a relaxed and refined country character
- integrate the built environment (your home and Community Facilities) with the natural environment.

3.2 Energy efficiency checklist

Discuss these alternatives with your architect and builder to help conserve energy and reduce greenhouse gas emissions.

Conserve energy by using:

- an appropriate building orientation and scale
- skylights
- roof overhangs greater than 600mm
- window hoods and external sun controls
- shade trees and deciduous vines
- appropriate insulation in ceilings, floors and walls
- effective ventilation in roof and throughout the house
- low wattage, halogen or fluorescent light fittings
- gas operated hot plates and ovens
- energy rated electric and gas appliances
- alternative water heating methods
- solar (photovoltaic) cells to generate alternative electrical energy
- equipment and materials which have minimal packaging to avoid excess rubbish waste.

Conserve water by installing:

- flow restricted shower and tap heads
- gutters to collect rainwater for toilet systems
- irrigation systems regulated by computers and/or sensors
- native gardens.

Louvre shading to windows and verandahs - angled to maximise winter sun and exclude summer sun.





3.3 Making your wish list

Making a list of everything you want from your home at The Vintage will help you to brief your selected architect. This ensures you achieve a design that suits your lifestyle, your budget and The Vintage Vision.

Simply jot down your thoughts, collect pictures from this or other magazines of housing styles you like, or go on a sight-seeing trip around the Hunter Valley, taking photos of architecture that you think embraces our Vision and yours.

Your home

1. What is your budget? _____

2. What style of your home do you prefer? _____

3. Is your Lot restricted to a one storey home? If not, which do you prefer? (See your site configuration diagram.)

4. Do you prefer an open plan or a traditional divided floor plan? _____
5. How will you use your home at The Vintage? Will you reside here full-time, use the property for weekend escapes, entertaining guests for extended stays, etc?

6. Will any children be living with you? _____
7. Does anyone in your family use a wheelchair or walking device? _____
8. Would you like access from a particular room to an outdoor area? _____
9. Do you prefer a courtyard, balcony or patio? _____
10. Do you have any health problems that affect the design or materials used in your home? _____
11. Do you wish to store wines in your home?
If so, what quantity and under what conditions?
 small cellar climate control underground wine storage

12. Do you want to future proof your home with special home automation including internal cabling for future or full home smart systems allowing remote access over the internet. _____
13. What energy efficiency alternatives would you like to include in your home? _____
14. Would you like?
 airconditioning pool spa fireplace

Your guests

14. How often do you intend to entertain? _____
15. What is the size of a typical gathering? _____
16. Will you have frequent overnight guests? _____
Who will they be? _____

Dining

17. Do you cook often? _____
Does more than one person cook at a time? _____
18. Does your family like to eat meals in or near the kitchen, or do you prefer a more formal dining area? _____
19. Do you intend to enjoy the environment and eat outside? _____
20. Would you like to use outside cooking facilities such as a BBQ and sink? _____

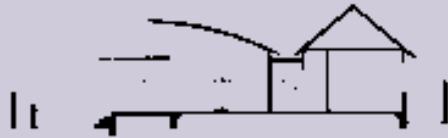
“Designing a plan according to these Guidelines will save you and your architect time, money and effort.”

3.4 Briefing your architect

Now that you have thought about what you want in a home, you need to brief your architect. Don't worry if you haven't been able to visualise the type of home that would suit The Vintage; looking through this booklet with your architect will prompt discussion.

The first thing your architect will need to do is to draw up a Sketch Design Plan. It is this plan that will go to the DRC for approval, before going to Council. To do this, you will need to give the following to your architect:

- your wish list with any pictures or samples you have gathered and a briefing of what you want from your home
- a copy of these Guidelines and assurance from you that they must be adhered to in order to be approved by the DRC
- the Preferred Home Configuration Diagram for your site
- the Building Setbacks and Height Diagram
- the Fencing Diagram
- details of your Community Association Manager.



SECTION A - A

WESTERN ELEVATION

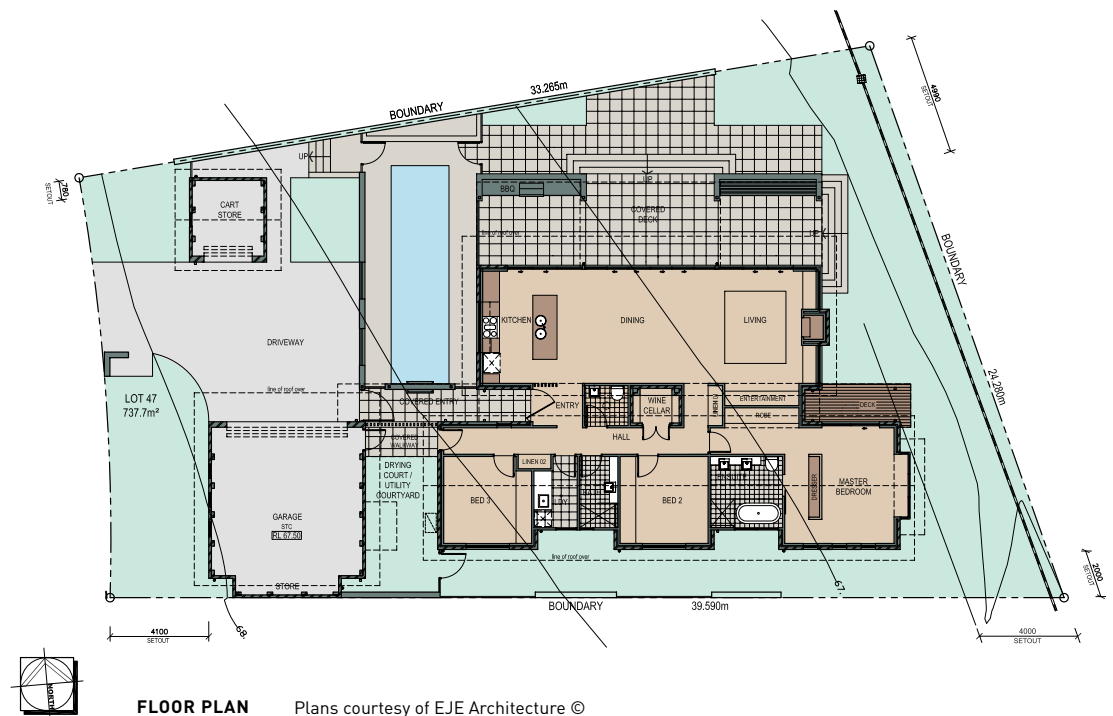
EASTERN ELEVATION

NORTHERN ELEVATION

SOUTHERN ELEVATION

Architectural requirements

Minimise the approval time for your Sketch Design Plans by following these architectural requirements.



FLOOR PLAN Plans courtesy of EJE Architecture ©



What do you need to prepare?

4.1 The architect **MUST** prepare six copies of the Sketch Design Plans showing setbacks and driveways at a scale of 1:100 on A1 or A3 sheets comprising of:

- site plan including but not limited to details of contours, location of buildings, letterbox and location of and relationship with proposed or existing neighbouring buildings
- floor plan including but not limited to details of all rooms with dimensions
- elevations (including front, rear, and both side elevations) indicating pre-construction ground levels and ridge heights
- an area schedule showing floor area of the Improvement and its compliance with the site coverage provisions set out in the Guidelines
- the landscape plan, if not included in the site plan.

They **MUST** also provide or arrange to be provided:

- a sample board of external finishes materials and colours for Improvements using approved materials and colours listed in these Guidelines.

You MUST also submit these completed forms:

- Sketch Design Review Application form (Appendix F)
- Sketch Design Materials and Finishes List form (Appendix E).

For more information please read **Submitting Plans for Approval** on page 39.

4.2 **How will the Sketch Design Plan be assessed?**

Each component of the Sketch Design Plan will be assessed by a DRC consultant architect before it is considered by the DRC. Failure to comply with any requirements will be noted by the consultant architect then discussed with the DRC. If the Sketch Design Plans fail to meet any of the requirements, the DRC will notify you within 14 days of the DRC meeting.



These simple, contemporary homes by Suters, EJE Architecture and Gordon Valich Architects reflect the Hunter Valley style and The Vintage Vision through their use of traditional building materials and natural hues.



Feature façades to both the Golf Course and street frontage create visual interest in this home.



Building style

To ensure The Vintage retains a high quality neighbourhood, we need to control the building form, external building materials, colours and other related finishes.

Building forms that provide contemporary high quality, low maintenance finishes, will embrace responsive solutions to local climate control for the comfort of residents and reinforce a relaxed and enjoyable lifestyle.

The overall style of the home must be in keeping with The Vintage Vision, as described in The Vintage Vision section of these Guidelines.

The homes above show the desired, simple application of traditional Hunter Valley building forms and materials such as timber, stone and iron. They use a low-scale, staggered building form for visual interest and to maximise the energy efficiency and qualities of the site and its views.

Building design, roof form, detailing, and materials visible from streets, public areas and adjoining Lots should be complementary to the character and form of neighbouring dwellings. Garages and all ancillary structures must be in harmony with the main dwelling.

5.1 Golf Course residential façade

Golf Course facades should represent a single level home, displaying visual interest and a scale and form that integrates the home with the landscape of the Golf Course.

The design should respect the character of neighbouring homes to achieve a varied but harmonious residential backdrop to the Golf Course.

5.2 Homes on corner Lots

Homes on corner Lots should be designed for dual street appeal and private open space.

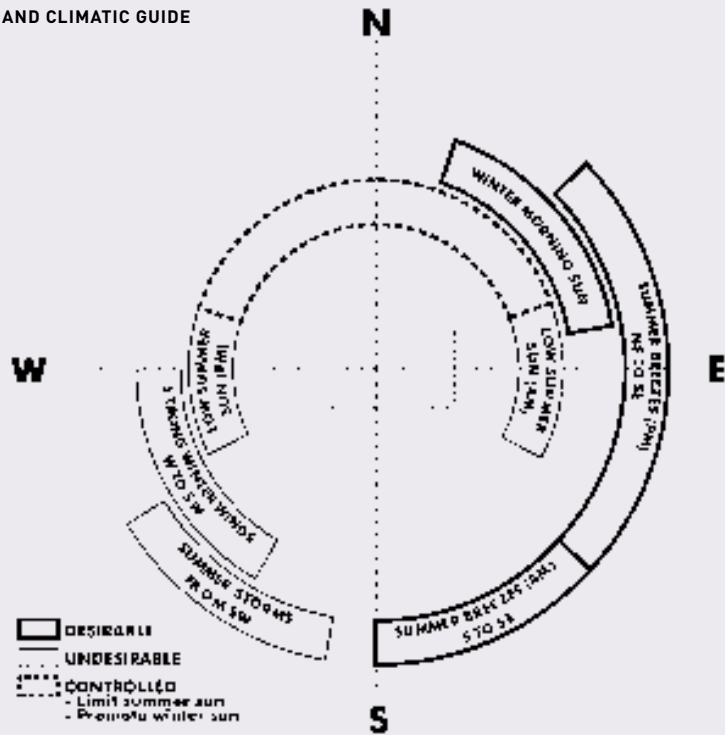
The elevation of the secondary street frontage MUST provide an interesting residential façade that supports a high quality streetscape.

5.3 External plumbing

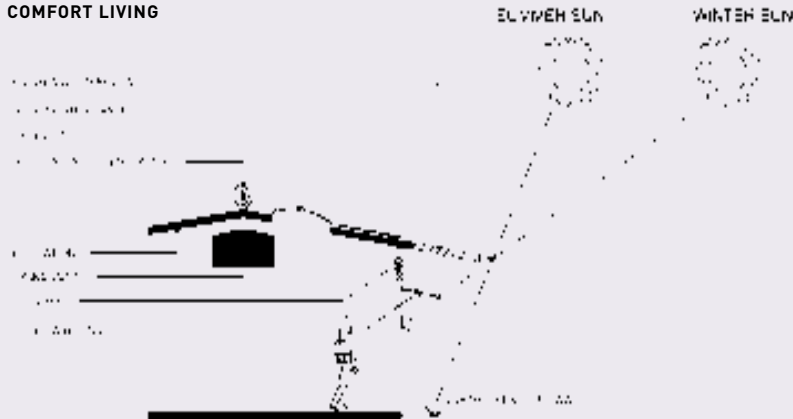
External plumbing MUST NOT be visible from a street or another home.

All plumbing on two storey dwellings, except downpipes, must be internal so as not to be seen from the street or neighbouring Lots.

BUILDING ORIENTATION AND CLIMATIC GUIDE



COMFORT LIVING



“Correct positioning of your home costs nothing: incorrect positioning may cost you a fortune in energy costs later.”

Building siting and scale

6.1 Building siting

The Building Orientation and Climatic Guide (left) shows the local climatic conditions of The Vintage. This guide has been used to develop the Preferred Home Configuration Diagrams for each Lot, to increase the comfort and energy efficiency of the homes, and to achieve a pleasant and attractive living environment for residents.

The sketch plans **MUST** use the principles of the Preferred Home Configuration Diagram for the Lot and maximise the advantages of the Lot’s natural attributes and locational characteristics.

In siting the home, you **MUST** consider:

- orientation
- good solar access
- privacy to adjoining properties
- breezes and cross ventilation
- slope and contours
- existing vegetation
- views and relationships with the Golf Course, parkland and street frontage.

You **MUST** also consider:

- location of services
- easements
- available access
- privacy
- maintenance of property
- overshadowing of neighbours
- view corridors of existing homes
- potential noise sources.

6.2 Site coverage

Site coverage means the portion of the site covered by a building with an impervious roof. It excludes eaves up to 600mm wide, pergolas, gazebos or the like and paved landscape areas.

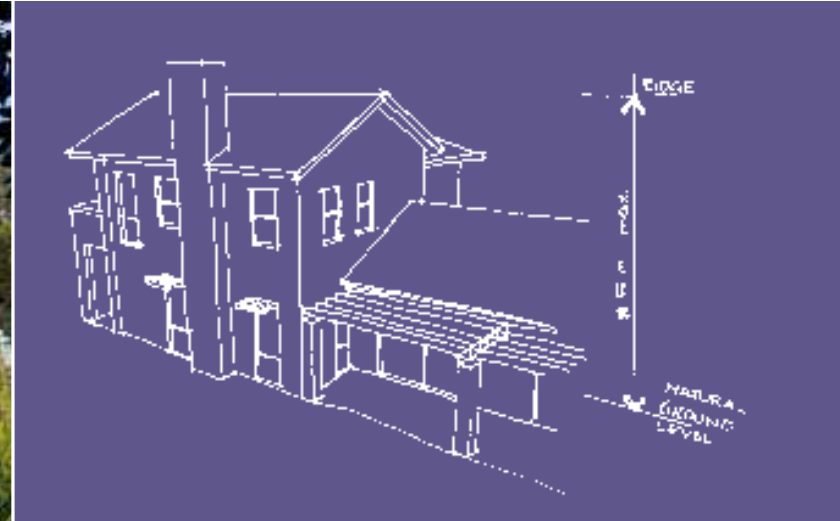
The site coverage of any dwelling **MUST NOT** exceed:

- 40% for all two storey sites
- 50% for all single storey sites
- 40 % for all other dwellings.

If you decide to build with an Attic, Loft and/or Observatory on a single storey site, you are limited to 40% coverage.

6.3 Minimum floor area

The minimum floor area of a home **MUST** be 120 square metres including garages and other enclosed spaces but not including unenclosed areas (eg verandahs, decks, and pergolas).



Example of old and new construction showing similar forms



Example of a two storey home

6.4 Building height

The Building Setback and Height Diagram details the permitted height and setbacks of your home.

6.4.1 Golf Course frontage homes

The maximum height of any part of a Golf Course frontage home (excluding chimneys) **MUST NOT** exceed 6.5 metres above Natural Ground, as measured directly below that point. This can include cathedral ceiling homes. The home must present as a single storey to the Golf Course.

An Observatory **MUST** be limited to a maximum footprint of 40 square metres. Lofts **MUST** be limited to a maximum footprint of 50 square metres.

The maximum combined footprint of Observatories and Lofts **MUST NOT** exceed 60 square meters.

Attics may be permitted over garages on Lots with Golf Course frontage and classified as single storey. The maximum height of an Attic **MUST NOT** exceed 6.5 metres above Natural Ground as measured directly below that point. The maximum footprint of an Attic **MUST NOT** exceed 40 square meters, inclusive of balconies.

6.4.2 Park frontage homes

The maximum height of any part of a park frontage home (excluding chimneys) **must not exceed 8.5 metres above Natural Ground** as measured directly below that point, and must not exceed two storeys. Observatories or Lofts are not permitted.

6.4.3 Rural residential homes

The maximum height of any part of a rural residential home (excluding chimneys) **MUST NOT** exceed 8.5 metres above above Natural Ground, as measured directly below that point.

6.5 Finished floor levels

The maximum finished floor level of any home is 1 metre above Natural Ground, as measured directly below that point.

The maximum exposed edge of any concrete structural or paving slab when viewed from any elevation **MUST NOT** exceed 150 mm.

6.6 Length of wall

To avoid the appearance of long featureless walls, a wall **MUST NOT** be more than 8 metres long without a minimum 500 mm change in the vertical plane of that wall for visual relief.



This design complies with the Guidelines, as it is in accordance with the building setbacks and height restrictions. The first storey of any dwelling **MUST** be 4m from the parkland boundary and the second storey of any dwelling **MUST** be setback a minimum of 8m.

Height restrictions for any dwelling on golf **MUST** not exceed 6.5m unless it is specified in the building setbacks and heights diagram for that Lot.

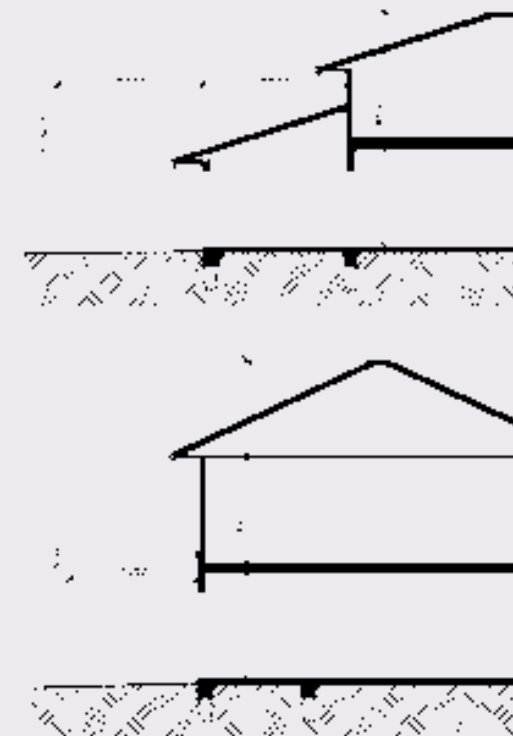
Homes adjacent to the golf course **MUST** not exceed 6.5m above Natural Ground.



This design is not compliant with the Guidelines, as the first storey is not setback 4m from the golf boundary and the second storey is not setback a further 4m from the boundary.

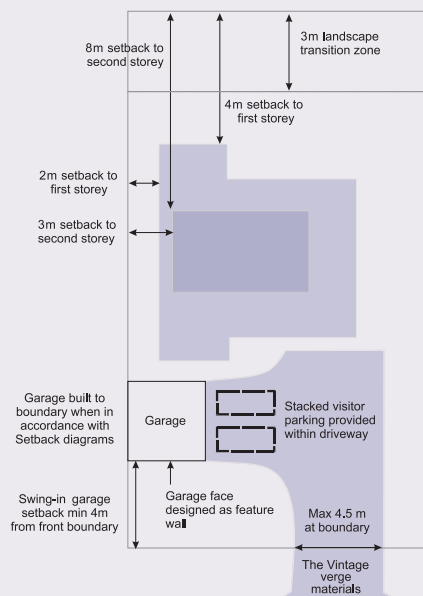
In addition, this dwelling does not comply, as it is visually a two storey dwelling and exceeds the 6.5m height limit.

BUILDING SETBACK & HEIGHT DIAGRAM

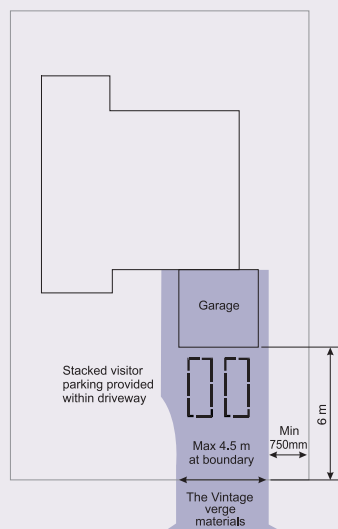


Building Setbacks

SWING GARAGE



OTHER GARAGE



Building setbacks

7.1 Dwellings, garages and all other above ground structures MUST be sited on Lots in accordance with minimum setbacks shown in the Building Setback and Heights Diagram (see Appendix A). Setbacks relate to walls of buildings. Overhangs up to 600mm may be provided within the setbacks.

Our prescribed setbacks provide privacy and view corridors between adjoining properties. They also minimise the impact on the streetscape.

7.2 Street front boundary setbacks

- dwellings MUST have a minimum setback of 4 metres
- verandahs and pergolas MUST have a minimum setback of 3 metres.
- corner Lots MUST have a minimum setback to the secondary street of 3 metres.
- the second storey MUST be setback a minimum 1 metre further from the street than the ground level.

7.3 Side boundary setbacks

- first storey MUST have a minimum setback of 2 metres.
- second storey MUST have a minimum setback of 3 metres.
- Lofts, Attics and Observatories MUST have a minimum setback of 5 metres.

Note: For Lots where the narrowest width is less than 20 metres, the DRC has the discretion to allow lesser setbacks if good passive design principles are adopted within the design.

Above ground structures such as pergolas, or BBQ structures are not permitted within setback areas.

Zero Lot line dwellings are permitted in accordance with the Building Setback and Heights Diagram (see Appendix A).

7.4 Rear boundary setbacks

All building elements covered with an impervious roof MUST have a minimum setback of 4 metres.

7.5 Golf Course and parkland boundary setbacks

The first storey MUST have a minimum setback of 4 metres. Second storey has a minimum setback of 8 metres.

7.6 Golf Course and parkland Lot front buffer

Golf Course frontage and parkland frontage Lots MUST have a 3 metre landscape transition zone within the Lot boundary. Landscaping of this buffer is detailed in the next section Landscaping Requirements.

Outdoor structures or any construction works associated with a landscape plan MUST NOT encroach into this buffer.

No vehicular access (including golf buggies) to the Golf Course is allowed through this buffer zone.

7.7 Rural Residential Lot front buffer

Rural Residential front Lots MUST have a 3 metre landscape transition zone within the front Lot boundary. Landscaping of this buffer should generally meet the objectives of these Guidelines with individual landscape designs assessed on their merits.

Building setbacks are fixed – they are not negotiable.

Generous boundary setbacks create view corridors between homes.

7.8 Garage setbacks

Garage setbacks have been designed to incorporate stacked visitor parking. From the front boundary:

- a swing-in garage **MUST** have a minimum setback of 4 metres.
- other garages **MUST** have a minimum setback of 6 metres
- garage structures on Rural Residential Lots **MUST** be behind the front building alignment of any proposed dwelling.

Side or rear walls of garages can be built to the side boundary as deemed appropriate by the DRC unless it is the secondary street frontage of corner Lots where the minimum setback is 3 metres. Care must be taken to ensure gutters and rooves do not overhang your boundary.

7.8.1 Garages and visitor parking

The Lot **MUST** have a minimum of 2 covered car parking spaces.

There **MUST** be at least 1 visitor parking space or 2 spaces if the home has more than 3 bedrooms (including study/office). Visitor parking must be stacked parking in front of the covered parking and be contained wholly within the Lot and setbacks.

Garages **MUST** be compatible with the design and detail of the dwelling. The face of the garage wall addressing the street must be designed as a feature wall or contain a window or other feature to articulate the frontage.

For Rural Residential Lots, up to two dedicated visitor parking spaces may be provided. The visitor parking **MUST** be located behind the front building alignment for the dwelling. All additional visitor parking **MUST** be stacked parking. Landscaping **MUST** be used to screen these areas from public view.

7.9 Driveways

Only one driveway is permitted for each Lot.

The driveway **MUST** be a minimum of 750mm from the side boundary for standard Lots and 4 metres for Residential Rural Lots where the driveway crosses the front boundary, to accommodate screen planting or turf.

The maximum width of the driveway at the front boundary **MUST** be 4.5 metres.

The full width of the driveway **MUST** be paved using paving materials that provide a permanent hard surface, compatible with the general landscape of the street and materials and colours of the associated dwelling. Acceptable finishes for driveways are:

- concrete flag pavers
- clay pavers
- exposed aggregate
- granite setts
- broom finished coloured concrete.

In public areas (non gated communities) the selected materials **MUST** finish at the Lot boundary. The owner **MUST** use Brandy Hill gravel with red oxide (The Vintage standard materials) to complete the driveway from the Lot boundary to the road. This is available through Pioneer Concrete, Cessnock. Your Community Association Manager can provide a sample.

7.9.1 Golf cart track/driveways

Where possible golf carts should access the street via the driveway. Separate golf cart tracks may be approved by the DRC based on the merits of each proposal.

In this home Brandy Hill exposed aggregate has been used for the driveway from the road to the Lot boundary.





Summer and winter amenity and privacy are created by the use of timber louvres in the verandah rooves, rather than impervious roofing materials.



Applying innovative design to an external/internal entertaining area achieves a high level of privacy.

Privacy

- 8.1 Privacy solutions can become the design features of your home.

The floorplan, including the layout and location of windows and balconies, MUST aim to minimise any direct overlooking and overshadowing of neighbouring buildings and their private outdoor spaces.

Appropriate screening for bedroom and living room windows that directly look onto neighbouring windows or private open spaces (either existing or proposed) MUST be included in the plans and elevations submitted for approval to the DRC.

8.2 Suitable design responses

8.2.1 Windows

- stagger windows by off-setting the edge of one window to the edge of the other to limit or restrict views into adjacent windows

- raise sill heights to at least 1.7 metres above floor level
- use fixed translucent glazing to part of a window below 1.7 metres above floor level.

8.2.2 Verandahs

- decks or verandahs overlooking neighbouring Lots MUST have a balustrade incorporating privacy measures such as solid panels or upward facing louvers
- re-positioning verandahs to avoid facing verandahs of neighbouring properties.

8.2.3 Screening

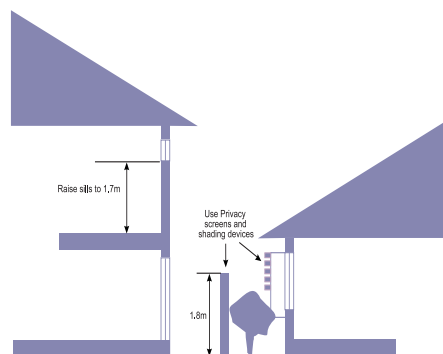
- use blinds, shutters, battens
- boundary fencing as described in Section 17
- freestanding screens to a height of 1.8 metres above ground floor level (with DRC approval)
- screen planting.

8.3 Verandahs and related design elements

Architectural elements such as terraces, balconies, verandahs, entry porticoes and pergolas are strongly encouraged for their value in diversifying streetscapes, softening building bulk and elevation treatments, and responsiveness to climate. They must be designed and detailed in a manner complementary to the main dwelling.

Other external fittings, such as security measures or shading devices over windows or doors are permitted where they are not visually obtrusive or are integral to the architectural design of the dwelling, and it must be noted on your plans for DRC approval.

DESIGN FOR PRIVACY





Colours will be natural, non-reflective, earthy hues that reflect the colours and textures of the Hunter landscape.



Clear glazing extended to the eaves enhances views.



Building colours and materials

9.1 A carefully balanced combination of warm natural materials such as stone and timber, with the creative use of materials such as glass, aluminium and steel should be used to reflect the mix of traditional and modern architectural forms.

The palette illustrated on the following page is indicative of the hues and textures. Other colour accents or feature materials may be approved by the DRC based on their individual merit and ability to achieve diversity and interest in the built form.

You MUST supply the DRC with an A4 size sample of external colour finishes.

9.2 Solid wall construction and colours

The use of different materials in an 80/20 composition is preferred over the use of any one material for walls.

Wall construction may include:

- rendered masonry - painted or pre-coloured render
- galvanised iron
- timber

- steel
- natural stone cladding
- rammed earth
- ecoply - exterior ply sheathing in clear satin.

Stone screens may use local dry stacked sandstone or local granite.

Wall colours should reflect the Hunter Valley environment:

- earthy tones
- neutral colours
- natural finishes
- patina effect.

9.2.1 Wall insulation

All external walls MUST be insulated to the equivalent, but not less than 1.2R insulation materials.

9.3 Window and door construction and colour

Window and door construction should be:

- timber in natural timber finishes, painted or stained using semi transparent, clear or oil based stain
- powder coated aluminium
- grey hues
- neutral colours.

The use of reflective tinting on glass is NOT permitted.

9.3.1 Ventilation

Windows should be placed to take advantage of prevailing breezes with a clear path through the home.

Potential drafts should be minimised by way of good construction techniques, incorporation of vapour seals and flashings.

9.4 Roof construction and colours

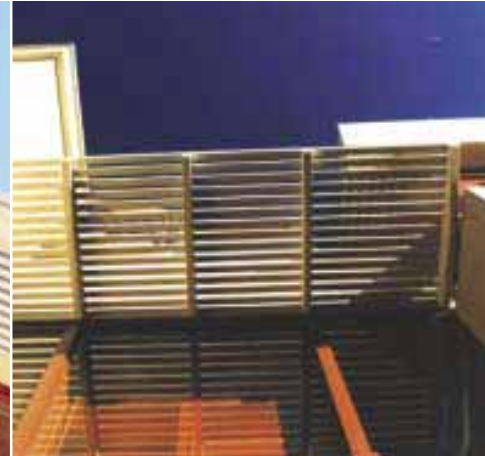
Roof forms will be evaluated by the DRC based on their compatibility with the architecture of the building and their visual impact on the streetscape. Materials used MUST be:

- galvanised iron
- Colorbond metal roof sheets in Woodland Grey, Ironstone, Bushland, Jasper or Windspray
- copper tray roofing (natural), not zincalume
- battened zinc tray
- flat profile shingle concrete tiles
- slate.

Roof materials should use tones ranging from medium grey to charcoal.

Roof pitch

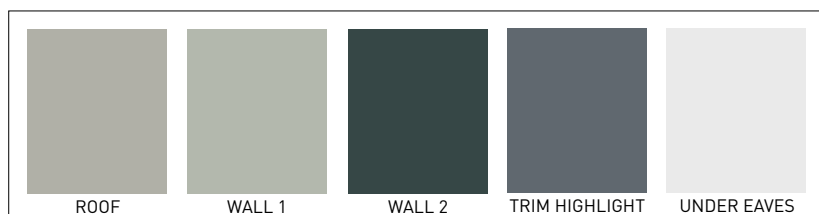
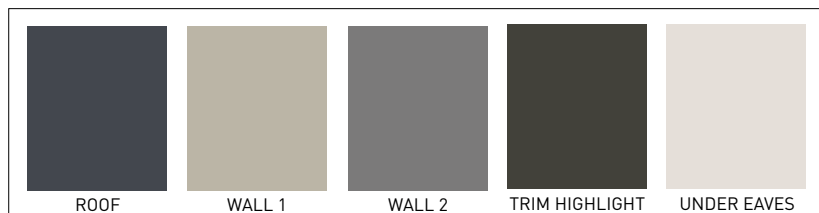
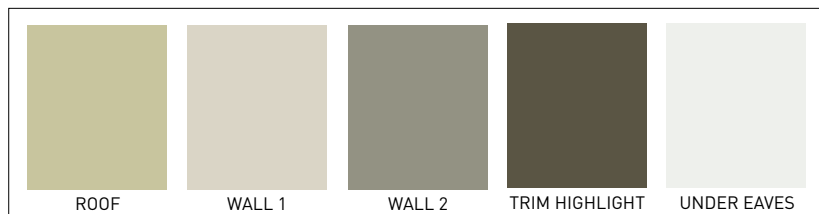
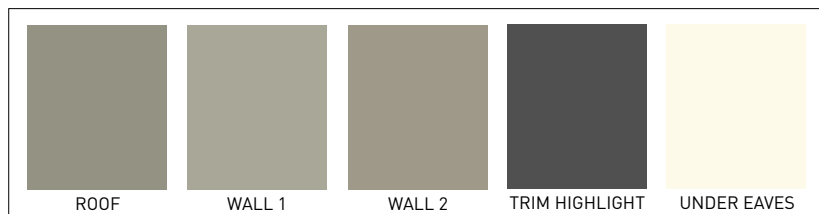
9.4.1 The minimum roof pitch is 20°, however if a skillion/single sloping pitched roof is included within a design, the minimum pitch is 10°. Roof form elements of a lower pitch including flat and curved roofs, where complementary to the dwelling design and streetscape, will be assessed on their merit.



Horizontal timber slats offer a good alternative to solar protection and eave overhang.

Compilation of curved and pitched roofs will be considered based on their architectural quality.

EXAMPLES OF OUTSIDE COLOUR PALETTES



9.4.2 Ceiling insulation

All inaccessible parts of the ceiling of a dwelling **MUST** be insulated to the equivalent, but not less than 1.5R insulation.

9.4.3 Eave overhang

Eaves are required and **MUST** have a minimum overhang of 600mm, other than where buildings are built to a zero Lot line boundary. However, other shading devices or structures for windows or doors that represent responsive climatic solutions to design or are derived from traditional detail, will be assessed on their merit and must use colours and materials as stated for roof construction.

9.4.4 Gutters and down pipes

Gutters and down pipes are to be finished to match the dwelling or to provide appropriate colour accents.

9.5 Garage doors

Garage doors are to be in keeping with the style of the home:

- natural cedar
- Colorbond panel lift in natural hues.

9.6 Sunshades

Sunshades are to be in keeping with the style of the home using:

- galvanised iron
- natural finish timber battens.

9.7 Rainwater tanks

If you want to include an above ground rainwater tank, it must be Custom Blue Orb in a pre-painted finish of medium to dark grey and be screened from public and Golf Course view.

Landscape requirements

The landscape character of The Vintage plays an important role in establishing a setting with a distinctive sense of place and rural tone. Residential landscape design reflects that of the natural environment of the Hunter Valley, that is informal, predominately native planting with a minimum of exotic plants, used as “accent plants” selected from a recommended species list.

These requirements aim to help residents create a distinctive and refined rural character that will unify parks, streetscapes and individual Lots within the Golf Course and surrounding landscape.

The landscape requirements in this section must be followed if the sketch plans are to be approved by the DRC.

Failure to follow the Guidelines may result in delays in obtaining approvals. The typical landscape plan on the following page gives an example of the type of drawing that needs to be submitted to the DRC.



Informal native gardens reflect the Hunter Valley environment, are able to withstand the local climatic conditions, require less water and maintenance and provide food and nesting for native species.



What do you need to prepare?

10.1 Design plans

Landscaping design plans must be approved by the DRC before you can submit your home design to Council for approval. It may be included on the site plan or submitted as a separate plan.

10.2 How will the plan be assessed?

A DRC consultant landscape architect will assess each aspect of the plan against the requirements in this guide before it is considered by the DRC. Failure to comply with any requirements will be noted on the form and discussed by the DRC.

A copy of the Sketch Design Review Assessment Form is included in Appendix B. It is recommended that your landscape architect uses this as a checklist for minimum requirements.

Themed gardens such as English cottage gardens, resort style pool areas or formal clipped hedges are taxing on the environment and do not meet The Vintage Vision.



PLANT SCHEDULE

ABV	BOTANICAL NAME	COMMON NAME
TREES		
Cm	<i>Corymbia maculata</i>	Spotted Gum
Ea	<i>Eucalyptus sideroxylon 'Pier'</i>	Pink Flowering Red Ironbark
Mg	<i>Magnolia x soulangiana</i>	Saucer Magnolia
Ti	<i>Trochodendron aliciae</i>	Water Gum
SHRUBS		
Ba	<i>Banksia spinulosa</i>	Hairy Banksia
Gv	<i>Grevillea 'Yellow Goddess'</i>	Grevillea
Ll	<i>Lamarchia longifolia</i>	Lamarchia
Rd	<i>Rhododendron australianum</i>	Hypocistis
Rh	<i>Rhododendron subulnifolium</i>	Rhododendron
Lr	<i>Rhododendron decoratum</i>	Rhododendron
Wf	<i>Westringia frutescens</i>	Coast Rosemary
Wa	<i>Waxea floribunda</i>	Waxea
GROUND COVERS		
Lg	<i>Grevillea 'Peaches Royal Maids'</i>	Frankie Grevillea
Hv	<i>Hardenbergia violacea</i>	Purple Coral Pea
Lv	<i>Lavandula angustifolia</i>	Lavender

GOLF COURSE HOLES 7-18

PLANT SPECIES USED WITHIN DESIGN TO BE DRAWN FROM PLANT LISTINGS IN VINTAGE GUIDELINES (REFER 11.3 - 11.8), AND NOTED ON LANDSCAPE PLAN.

ALL FENCING IS OPTIONAL PROVIDING PRIVACY ISSUES CAN BE DEALT WITH BY OTHER MEANS WITH THE EXCEPTION OF GOLF FRONT FENCING THAT MUST BE INSTALLED IF DIRECTED BY THE VINTAGE.

ALL ANCILLARY STRUCTURES IE POOLS, AIR CONDITIONING, ETC SHALL COMPLY WITH VINTAGE GUIDELINES (REFER 14.1 - 14.4, 15.1 & 15.2) AND SCREENED ACCORDINGLY.

DRIVEWAY TO BE MAXIMUM 4.5M WIDE AT THE FRONT BOUNDARY AND MADE FROM MATERIALS SET OUT IN VINTAGE GUIDELINES (REFER 12.5)

THIS PLAN IS TYPICAL OF THE DETAILS REQUIRED FOR A LANDSCAPE PLAN WHEN SEEKING DRC APPROVAL. THE NOTES IN RED ARE INTENDED TO DESCRIBE THE PRINCIPLES THAT NEED TO BE FOLLOWED AS DESCRIBED IN THE GUIDELINES. THIS PLAN IS INTENDED TO BE A GUIDE ONLY AND IS NOT INTENDED TO REPLACE THE GUIDELINES. PLEASE READ THE GUIDELINES THOROUGHLY BEFORE PREPARING ANY DOCUMENTATION. SHOULD YOU HAVE ANY QUERIES PLEASE CONTACT THE VINTAGE FOR ASSISTANCE OR FURTHER CLARIFICATION.

DRIVEWAYS ON ROADSIDE VERGE TO BE EXPOSED AGG TO COMPLY WITH STANDARD VINTAGE SPECIFICATIONS (NOT APPLICABLE TO JACARANDAS OR OLIVE GROVE PRECINCTS).

TREES TO BE REMOVED TO BE NOTED ON LANDSCAPE PLAN

LETTER BOXES TO BE ALIGNED WITH DRIVEWAY ON THE RIGHT-HAND SIDE CLOSE TO FRONT BOUNDARY & SOFTENED WITH LANDSCAPING. MATERIALS & COLOURS TO COMPLEMENT HOUSE OR SANDSTONE FACING (REFER VINTAGE GUIDELINES 15.4).

RETAINING WALL TO BE SETBACK MINIMUM 2M FROM FRONT BOUNDARY AND MATCH HOUSE MATERIALS OR CONSTRUCTED FROM SANDSTONE (REFER VINTAGE GUIDELINES 15.3)

FENCING TYPE TO REAR TO COMPLY WITH VINTAGE GUIDELINES (REFER SECTION 13). GOLF FENCING TO RETURN 4M ALONG EACH SIDE BOUNDARY

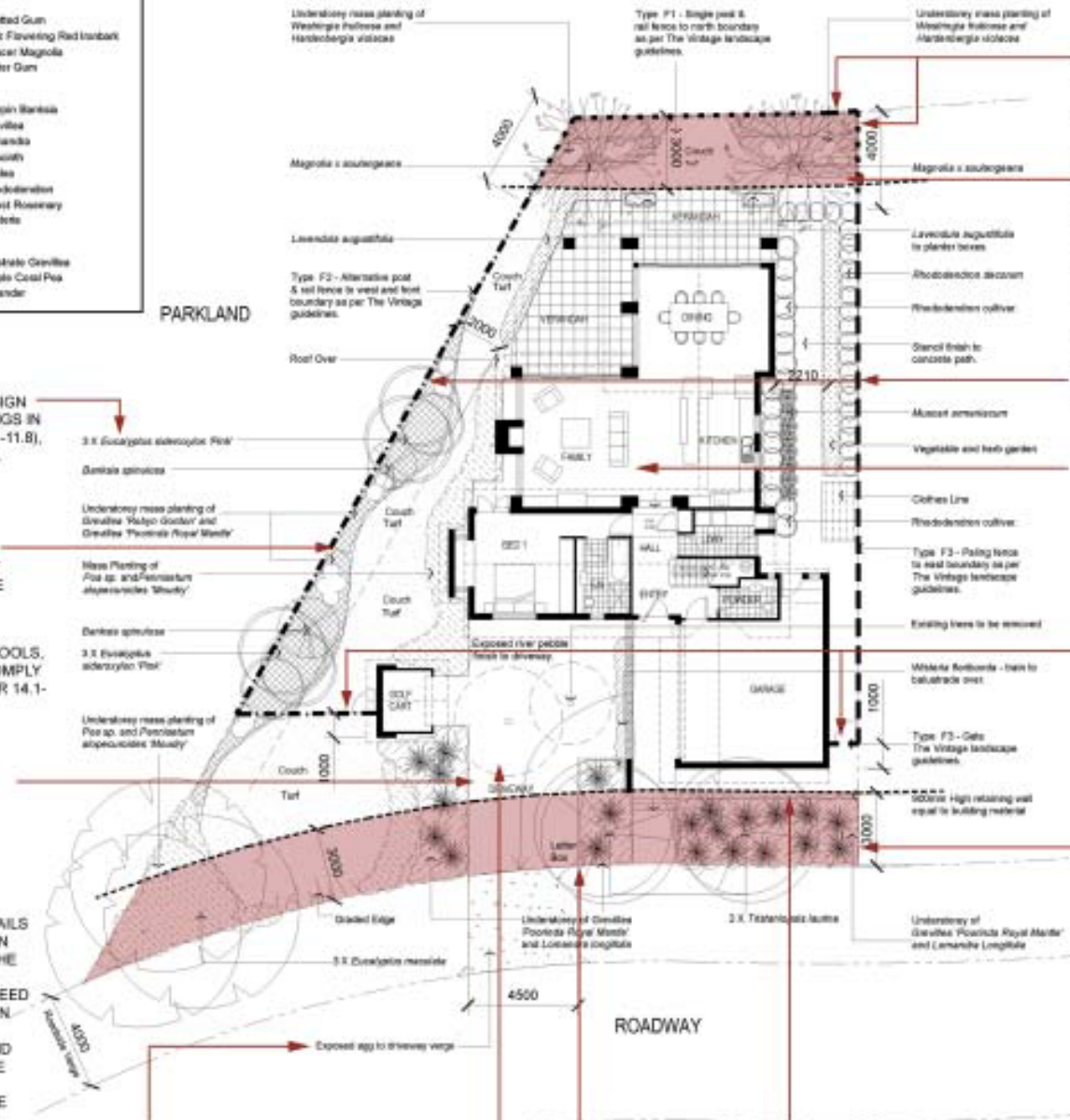
3M LANDSCAPED BUFFER ZONE TO REAR ADJOINING PARKLAND & GOLF COURSES, TO CONSIST OF NATIVE OR EXOTIC TREES, AND NATIVE SHRUBS AND AND GROUND COVERS (REFER VINTAGE GUIDELINES 11.6) NO CONSTRUCTION ALLOWED WITHIN BUFFER ZONE.

SIDE FENCING TO COMPLY WITH VINTAGE GUIDELINES (REFER SECTION 13) IN REGARD TO TYPE AND SIZE. FENCE TO RUN TO RETURN OF REAR FENCING

LANDSCAPE PLANS NEED TO BE OF HIGH QUALITY AND CONSIDER BOTH THE CONTINUITY WITHIN THE VINTAGE DEVELOPMENT AND HOW THE LANDSCAPE COMPLEMENTS THE LIVING SPACES (REFER VINTAGE GUIDELINES SECTION 11)

FRONT FENCING RETURNS TO BE SET BACK MINIMUM 1M FROM SIGNIFICANT FRONT CORNER OF HOUSE. GENERALLY WHERE FRONT FENCES EXTEND NO MORE THAN 2M FROM THE SIDE BOUNDARY, A 1.8M HIGH F3 FENCE IS PERMITTED AND MUST BE WELL SCREENED (REFER VINTAGE GUIDELINES SECTION 13)

3M LANDSCAPED BUFFER ZONE TO STREET, TO CONSIST OF NATIVE TREES, SHRUBS AND GROUND COVERS (REFER VINTAGE GUIDELINES 11.3)



Landscape requirements

Landscape plan

- 11.1 To make it easier for you to plan your design, we have divided the landscape into zones. Each zone has specified species lists and directions for planting. The diagram on page 28 illustrates where each zone lies on your Lot.

The landscape plan must use plantings from the recommended species lists in this section in accordance with these Guidelines. Before you submit your plan, run through the following checklist to ensure that your landscape plan has addressed these key design issues.

- | | | |
|--|------------------------------|-----------------------------|
| Does the landscape design provide adequate privacy between neighbours and from public open spaces? | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Is the design appropriate to the site and of a standard that complies with The Vintage Vision? | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Does the landscape design fully consider the prevailing environmental conditions such as solar access, prevailing winds and winter frosts? | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Is there adequate provision of useable outdoor spaces? | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Has the plan been designed to protect and enhance views while reinforcing significant vistas? | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Has site drainage been properly designed to minimise water logging and to promote vigorous plant growth? | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Does the plan use a broad pallet of nominated species in a way that is appropriate to the character of each zone and in context with the surrounding landscape of each zone?
[See Landscape zones within Lots on page 28.] | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Has appropriate fencing been used for each zone?
[See Fencing on page 34.] | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Have appropriate materials been used for Driveways (page 21), Retaining walls and Outdoor structures (page 37)? | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Have large trees been sited away from buildings and services? | <input type="checkbox"/> YES | <input type="checkbox"/> NO |
| Have Ancillary structures been designed appropriately?
[See Ancillary Structures on page 37.] | <input type="checkbox"/> YES | <input type="checkbox"/> NO |

The preferred landscape character for The Vintage

The landscape character of The Vintage will reflect the distinctive landscape attributes of the Hunter Valley, giving The Vintage a sophisticated, semi-rural character.

The rural character will largely be achieved with the use of native trees and shrubs common to the Hunter Valley. Not only will this assist in unifying all areas within The Vintage, but it will also assist in maintaining the regional landscape character, ensuring the visual integration of buildings to their surroundings and contribute to reduced water demands.

Through a holistic approach, the guidelines aim to create a refined rural character that will unify parks, streetscapes and individual Lots within the Golf Course and surrounding parkland and adjoining landscape. By embracing the spirit of the Guidelines, Owners will experience:

- increased lifestyle and entertainment possibilities
- the relaxed atmosphere of a refined country setting
- environmental benefits such as shade, wind protection and cooling effects.

Native planting themes

- 12.1 The use of native trees and shrubs indigenous to the area will assist in creating a strong rural character and country feel for The Vintage, maintaining the regional landscape character of the Hunter Valley. It will also reduce water requirements within the development and ensure the visual integration of buildings within their surrounds.

Selected trees, shrubs and groundcovers are listed for each landscape zone.

The use of native plants should predominate in planting schemes, particularly where gardens are viewed from public areas. In private courtyards and screened areas native plants are preferred but not mandatory.

Where possible, plants indigenous to the area should be used as these plants have the potential to better handle the prevailing conditions.

Exotic plant material

- 12.2 While much of the Hunter Valley consists of bushland and roads lined with gum trees, there are also old homesteads and improved pastures where native and exotic plants have been thoughtfully combined. For this reason, the recommended plant lists incorporated into these Guidelines include a selection of exotic plant material.

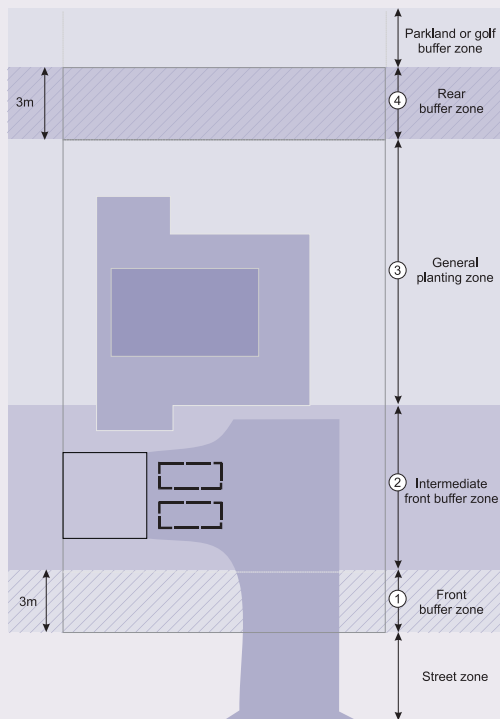
Exotic plants are used selectively to create interest by providing contrast and accent at key locations such as entries and screened outdoor living areas.

The use of deciduous trees (including natives) is encouraged on the northern side of dwellings and outdoor living areas so as to provide summer shade and to allow for winter sun.

Palms, conifers and bamboo are NOT permitted within The Vintage as their distinctive forms suggest tropical or Mediterranean themes rather than the semi-rural Hunter Valley.



LANDSCAPE ZONES WITHIN LOTS



3m 3m 3m
 Zones critical in maintaining the landscape character of The Vintage, where the Guidelines will be strictly applied.

Landscape zones within Lots

The diagram on the left illustrates how each Lot has been divided into specific zones. These Guidelines define the planting within each zone and how this planting reinforces the function of the zone, whilst still contributing to the overall landscape character of The Vintage.

13.1 Street Zone

Function

- to assist in creating a unified streetscape within each precinct.

Requirements

- no planting is allowed within this zone (ie all landscaping must be contained within the front boundary)
- should an owner wish to plant additional street trees the same as those already planted, then an Application must be made to the Community Association showing the size, type and location of each proposed tree.

13.2 Zone 1 - Front Buffer

Function

- to provide an interface between the street and individual Lots
- to foster the desired landscape character throughout The Vintage
- to provide a moderate level of privacy without fully screening the fronts of buildings.

Requirements

- the first 3 metres inside each Lot MUST be substantially planted out with native plants in accordance with the recommended species list: Zone 1 - Front Buffer Zone with the exception of Rural Residential Lots (see below)
- a least 60% of the total Front Buffer Zone should be mass planting with the exception of Rural Residential Lots (see below)
- a maximum of 25% turf is permitted within this zone
- a small proportion (10%) of the plant material may be exotics where they are used as accent planting
- at least two trees selected from the Recommended Species List: Zone 1 - Front Buffer Zone are to be planted within this zone. This may be decreased for Lots with small street frontage or increased for Lots with wide street frontages.

Additional requirements for Rural Residential Lots

- Rural Residential Lots MUST have a minimum of 10 tall trees from the Recommended Species List: Zone 1 - Front Buffer Zone planted in random configuration with variable spacing. The planting of additional landscaping to soften the appearance of any front fence is encouraged.

ZONE 1 - Front Buffer Zone

Native Trees	Common Name
Agonis flexuosa*	Willow Myrtle
Angophora floribunda*	Rough –Barked Apple
Backhousia citriodora*	Lemon Scented Myrtle
Banksia integrifolia	Coast Banksia
Brachychiton populenus	Kurrajong
Corymbia maculata*	Spotted Gum
Elaeocarpus reticulatus	Blueberry Ash
Eucalyptus 'Summer Beauty'	Summer Beauty Flowering Gum
Eucalyptus 'Summer Red'	Summer Red Flowering Gum
Eucalyptus acmenoides*	White Mahogany
Eucalyptus amplifolia*	Cabbage Gum
Eucalyptus eximia*	Yellow Bloodwood
Eucalyptus paniculata*	Grey Ironbark
Eucalyptus punctata*	Grey Gum
Eucalyptus sideroxylon*	Mugga Ironbark
Eucalyptus tereticornis*	Forest Red Gum
Melaleuca linariifolia	Snow-in-Summer
Melia azedarach var. australasica*	White Cedar
Syzygium paniculatum	Australian Bush Cherry
Tristaniopsis laurina	Water Gum

Native Shrubs and Climbers (C)	Common Name
Baeckea virgata	Baeckea
Banksia robur	Large-Leaf Banksia
Banksia serrata	Old Man Banksia
Banksia spinulosa	Hairpin Banksia
Callistemon citrinus cvs.	Scarlet Bottlebrush
Callistemon salignus cvs.	Pink-Tipped Bottlebrush
Callistemon viminalis cvs.	Weeping Bottlebrush
Epacris microphylla	Small –Leaved Heath
Kunzea ericoides	Kanuka
Leptospermum scoparium	Tea Tree
Pandorea pandorana	Wonga Vine (C)
Prostanthera cuneata	Alpine Mint Bush
Westringea fruticosa	Coastal Rosemary

Native Perennials (P), Grasses (G) and Groundcovers (GC)	Common Name
Anigozanthos spp.	Kangaroo Paw (P)
Brachycome multifida	Cut Leaf Daisy (P)
Bracteantha bracteae	Everlasting Daisy (P)
Dampiera diversifolia	Kangaroo Lobelia (GC)
Dianella cvs.	Flax Lily (G)
Doryanthes excelsa	Gymea Lily (P)
Elvira sp.	Lavender Grass (G)
Goodenia hederacea	Forest Goodenia (P)
Grevillea 'Poorinda Royal Mantle'	Trailing Grevillea (GC)
Hardenbergia violacea	False Sarsparilla (GC)
Hibbertia scandens	Snake Vine (GC)
Lomandra spp.	Mat Rush (P)
Myoporum debile	Creeping Boobialla (P)
Myoporum parvifolium	Boobialla (P)
Pennisetum alopecuroides	Swamp Foxtail (G)
Poa labillardieri cvs.	Tussock Grass (G)
Themeda australis	Kangaroo Grass (G)
Viola hederacea	Native Violet (GC)
Wahlenbergia stricta	Tall Bluebell (P)

*Tall Tree – do not plant within 5m of structures

13.3 Zone 2 - Intermediate Front Buffer

Function

- to complement the Front Buffer Zone
- to assist in tempering internal environmental conditions
- to provide maneuvering areas and stack parking in a manner that does not dominate the front of houses.

Requirements

- up to 50% of plant material may be exotic as selected from the Recommended Species List: General Planting Zone (right). All other plantings to be selected from Recommended Species List: Zone 1 - Front Buffer Zone.
- where space is available trees should be planted from either Recommended Species List: Zone 1 - Front Buffer Zone and/or Recommended Species List: Zone 3 - General Planting Zone. Subject to safe distances from buildings.

13.4 Zone 3 - General Planting

Function

- to assist in providing adequate screening and privacy
- to assist in tempering internal environmental conditions
- to create outdoor living spaces that complement internal living spaces
- to allow a greater variety of plant material to cater for individual tastes.
- to promote a consistent relaxed and refined country feel.

Requirements

- generally, plant material is to be selected from the Recommended Species List: Zone 3 - General Planting Zone or any of the other Recommended Species Lists (ie not less than 80%)
- trees should be planted on the northern side of buildings to provide privacy, contribute summer shade and allow winter sun
- additional plant material may be used that is not found in the Recommended Species List (right) providing it does not impact on the preferred landscape character.

ZONE 3 - General Planting Zone

Native Trees	Common Name
<i>Agonis flexuosa</i> *	Willow Myrtle
<i>Backhousia citriodora</i> *	Lemon Scented Myrtle
<i>Banksia integrifolia</i>	Coast Banksia
<i>Brachychiton populenus</i>	Kurrajong
<i>Corymbia maculata</i> *	Spotted Gum
<i>Cupaniopsis anacardioides</i> *	Tuckeroo
<i>Cyathea australis</i>	Hard Tree Fern
<i>Dicksonia antarctica</i>	Soft Tree Fern
<i>Elaeocarpus reticulatus</i>	Blueberry Ash
<i>Eucalyptus 'Summer Beauty'</i>	Summer Beauty Flowering Gum
<i>Eucalyptus 'Summer Red'</i>	Summer Red Flowering Gum
<i>Eucalyptus eximia</i> *	Yellow Bloodwood
<i>Eucalyptus paniculata</i> *	Grey Ironbark
<i>Eucalyptus punctata</i> *	Grey Gum
<i>Eucalyptus sideroxylon</i> *	Mugga Ironbark
<i>Melaleuca linariifolia</i>	Snow-in-Summer
<i>Melia azedarach var. australasica</i> *	White Cedar
<i>Tristaniopsis laurina</i>	Water Gum

Accent Trees	Common Name
<i>Acer negundo</i> *	Box Elder
<i>Acer palmatum</i>	Japanese Maple
<i>Albizia julibrissin</i> *	Silk Tree
<i>Carya illinoensis</i> *	Pecan
<i>Fraxinus angustifolia 'Raywoodii'</i> *	Claret Ash
<i>Gleditsia tricanthos</i> cvs.*	Honey Locust
<i>Jacaranda mimosifolia</i> *	Jacaranda
<i>Juglans regia</i> *	Walnut
<i>Laurus nobilis</i>	Bay Tree
<i>Liquidambar styraciflua</i> *	Liquidambar
<i>Liriodendron tulipifera</i> *	Tulip Tree
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Magnolia x soulangiana</i>	Saucer Magnolia
<i>Malus ionensis</i>	Crabapple
<i>Prunus</i> sp.	Cherry Plum
<i>Pyrus</i> sp.*	Pear
<i>Schinus molle</i> var. <i>areira</i> *	Peppercorn Tree
<i>Tamarix parviflora</i>	Early Tamarisk
<i>Ulmus parvifolia</i> *	Chinese Elm

*Tall Tree - do not plant within 5m of structures

Additional requirements for Rural Residential Lots

- with the aim of creating a native landscape character, tall native trees selected from the Recommended Species List: Zone 3 - General Planting Zone, should be planted between the side boundaries and within ten metres of the main dwelling.
- trees should be planted at a minimum average rate of one tree per 100 sqm with a preference for random groupings.

Native Shrubs and Climbers (C)	Common Name
<i>Baeckea virgata</i>	Baeckea
<i>Banksia robur</i>	Large-Leaf Banksia
<i>Banksia serrata</i>	Old Man Banksia
<i>Banksia spinulosa</i>	Hairpin Banksia
<i>Callistemon citrinus</i> cvs.	Scarlet Bottlebrush
<i>Callistemon salignus</i> cvs.	Pink-Tipped Bottlebrush
<i>Callistemon viminalis</i> cvs.	Weeping Bottlebrush
<i>Correa alba</i>	Native Fuchsia
<i>Correa reflexa</i>	Native fuchsia
<i>Epacris microphylla</i>	Small -Leaved Heath
<i>Grevillea lanigera</i>	Woolly Grevillea
<i>Grevillea longifolia</i>	Grevillea
<i>Kunzea ericoides</i>	Kanuka
<i>Leptospermum scoparium</i>	Tea Tree
<i>Pandorea pandorana</i>	Wonga Vine (C)
<i>Prostanthera cuneata</i>	Alpine Mint Bush
<i>Westringea fruticosa</i>	Coastal Rosemary

Accent Shrubs and Climbers (C)	Common Name
<i>Abelia chinensis</i>	Abelia
<i>Abelia grandiflora</i>	Abelia
<i>Abutilon megapotamicum</i>	Chinese Lantern
<i>Acanthus mollis</i>	Bear's Breeches
<i>Adenandria fragrans</i>	China Flower
<i>Agastache cana</i>	Mosquito Plant
<i>Ardisia crispa</i>	Coralberry
<i>Berberis thunbergii</i>	Japanese Barberry
<i>Buddleja alternifolia</i>	Butterfly Bush
<i>Buxus sempervirens</i>	Common Box
<i>Ceanothus</i> sp.	Californian Lilac
<i>Choisya ternata</i>	Mexican Orange Blossom
<i>Clematis montana</i>	Virgin's Bower (C)
<i>Daphne odora</i>	Winter Daphne
<i>Deutzia crenata</i>	Deutzia
<i>Escallonia macrantha</i>	Escallonia
<i>Fatsia japonica</i>	False Aralia
<i>Genista lydia</i>	Dwarf Broom
<i>Hydrangea macrophylla</i>	Garden Hydrangea
<i>Hydrangea quercifolia</i>	Oak Leafed Hydrangea
<i>Iberis sempervirens</i>	Candy Tuft
<i>Lavandula</i> cvs.	Lavender
<i>Mahonia aquifolium</i>	Oregon Holly grape
<i>Mahonia japonica</i>	Holly Grapes
<i>Mahonia lomariifolia</i>	Holly Grapes
<i>Murraya paniculata</i>	Mock Orange
<i>Osmanthus fragrans</i>	Sweet Osmanthus
<i>Parthenocissus tricuspidata</i>	Boston Ivy (C)
<i>Philadelphus x virginialis</i>	Mock Orange
<i>Photinia glabra 'Rubens'</i>	Photinia
<i>Pieris japonica</i> cvs.	Lily-of-The-Valley-Shrub
<i>Prunus laurocerasus</i>	Cherry Laurel
<i>Rhododendron</i> sp.	Azalea
<i>Rosa</i> sp.	Rose
<i>Spiraea thunbergii</i> cvs.	May Bush
<i>Trachelospermum jasminoides</i>	Star Jasmine (C)
<i>Viburnum odoratissimum</i>	Viburnum
<i>Viburnum tinus</i>	Lauristinus
<i>Vitis vinifera 'Alicante Bouchet'</i>	Ornamental Grape (C)
<i>Wisteria floribunda</i>	Japanese Wisteria (C)

Native Perennials (P), Grasses (G) and Groundcovers (GC)	Common Name
<i>Anigozanthos</i> spp.	Kangaroo Paw (P)
<i>Blechnum penna-marina</i>	Alpine Water Fern (P)
<i>Brachycome multifida</i>	Cut Leaf Daisy (P)
<i>Bracteantha bracteata</i>	Everlasting Daisy (P)
<i>Dampiera diversifolia</i>	Kangaroo Lobelia (GC)
<i>Dianella tasmanica</i>	Flax Lily (G)
<i>Doodia aspera</i>	Rasp Fern (GC)
<i>Doryanthes excelsa</i>	Gymea Lily (P)
<i>Elvira</i> sp.	Lavender Grass (G)
<i>Goodenia hederacea</i>	Forest Goodenia (P)
<i>Grevillea 'Poorinda Royal Mantle'</i>	Trailing Grevillea (GC)
<i>Hardenbergia violacea</i>	False Sarsparilla (GC)
<i>Hibbertia scandens</i>	Snake Vine (GC)
<i>Lomandra</i> spp. & cvs.	Mat Rush (P)
<i>Myoporum debile</i>	Creeping Boobialla (P)
<i>Myoporum parvifolium</i>	Boobialla (P)
<i>Pennisetum alopecuroides</i>	Swamp Foxtail (G)
<i>Poa labillardieri</i> cvs.	Tussock Grass (G)
<i>Polystichum proliferum</i>	Mother Shield Fern (GC)
<i>Pultenaea pedunculata</i>	Matted Pea Bush (GC)
<i>Scleranthus biflorus</i>	Knawel (GC)
<i>Themeda australis</i>	Kangaroo Grass (G)
<i>Viola hederacea</i>	Native Violet (GC)
<i>Wahlenbergia stricta</i>	Tall Bluebell (P)

Accent Perennials (P), Grasses (G) and Groundcovers (GC)	Common Name
<i>Agapanthus</i> sp.	African Lily (P)
<i>Ajuga reptans</i> cvs.	Carpet Bugle (GC)
<i>Anemone x hybrida</i>	Japanese Wind Flower (P)
<i>Carex testacea</i>	Sedge (G)
<i>Centaurea cyanus</i>	Bachelor's Button (P)
<i>Clematis integrifolia</i>	Virgin's Bower (P)
<i>Clivea miniata</i>	Bush Lily (P)
<i>Convolvulus cneorum</i>	Silver Bush (P)
<i>Cotoneaster damneri</i>	Prostrate Cotoneaster (GC)
<i>Erica carnea</i>	Alpine Heath (P)
<i>Festuca glauca</i>	Blue Fescue (G)
<i>Gazania linearis</i>	Treasure Flower (GC)
<i>Helichrysum italicum</i>	Curry Plant (P)
<i>Hemerocallis</i> cvs.	Daylily (P)
<i>Heuchera micrantha</i>	Coral Bells (P)
<i>Heuchera sanguinea</i>	Coral Bells (P)
<i>Kniphofia hybrida</i>	Red Hot Poker (P)
<i>Kniphofia uvaria</i>	Torch Lily (P)
<i>Liriope muscari</i> & cvs.	Lily Turf (P)
<i>Miscanthus sinensis</i>	Japanese Silver Grass (G)
<i>Ophiopogon</i> sp. & cvs.	Mondo Grass (G)
<i>Phlox drummondii</i>	Phlox (P)
<i>Phormium tenax</i> & cvs.	New Zealand Flax (P)
<i>Rosmarinus 'Blue Lagoon'</i>	Groundcover Rosemary (P)
<i>Salvia</i> spp.	Sage (P)
<i>Stachys byzantina</i>	Lamb's Ears (P)
<i>Vinca minor</i>	Creeping Myrtle (GC)
<i>Viola odorata</i>	Sweet Violet (GC)

ZONE 4a - Rear Buffer Zone

(Lots adjoining holes 1 to 6)

Native Trees	Common Name
<i>Agonis flexuosa</i> *	Willow Myrtle
<i>Angophora floribunda</i> *	Rough-Barked Apple
<i>Backhousia citriodora</i> *	Lemon Scented Myrtle
<i>Banksia integrifolia</i>	Coast Banksia
<i>Brachychiton populenus</i>	Kurradjong
<i>Corymbia maculata</i> *	Spotted Gum
<i>Cupaniopsis anacardioides</i> *	Tuckeroo
<i>Elaeocarpus reticulatus</i>	Blueberry Ash
<i>Eucalyptus 'Summer Beauty'</i>	Summer Beauty Flowering Gum
<i>Eucalyptus 'Summer Red'</i>	Summer Red Flowering Gum
<i>Eucalyptus amplifolia</i> *	Cabbage Gum
<i>Eucalyptus eximia</i> *	ellow Bloodwood
<i>Eucalyptus paniculata</i> *	Grey Ironbark
<i>Eucalyptus punctata</i> *	Grey Gum
<i>Eucalyptus sideroxylon</i> *	Mugga Ironbark
<i>Melaleuca linariifolia</i>	Snow-in-Summer
<i>Melaleuca decora</i>	Ornate Paperbark
<i>Melia azedarach</i> var. <i>australasica</i> *	White Cedar
<i>Syzygium paniculatum</i>	Australian Bush Cherry
<i>Tristaniopsis laurina</i>	Water Gum

Shrubs and Climbers (C)	Common Name
<i>Acacia fimbriata</i>	Fringed Wattle
<i>Acmena smithii</i> cvs.	Lilypillly
<i>Agonis flexuosa</i> 'Nana'	Dwarf Willow Myrtle
<i>Baeckea virgata</i>	Baeckea
<i>Banksia robur</i>	Large-Leaf Banksia
<i>Banksia serrata</i>	Old Man Banksia
<i>Banksia spinulosa</i>	Hairpin Banksia
<i>Callistemon citrinus</i> cvs.	Scarlet Bottlebrush
<i>Callistemon salignus</i> cvs.	Pink-Tipped Bottlebrush
<i>Callistemon viminalis</i> cvs.	Weeping Bottlebrush
<i>Correa alba</i>	Native Fuchsia
<i>Correa reflexa</i>	Native fuchsia
<i>Epacris microphylla</i>	Small -Leaved Heath
<i>Grevillea lanigera</i>	Woolly Grevillea
<i>Grevillea longifolia</i>	Grevillea
<i>Hakea purpurea</i>	Hakea
<i>Hakea salicifolia</i>	Willow-Leaved Hakea
<i>Hakea sericea</i>	Silky Hakea
<i>Hypocalymma cordifolium</i>	
<i>Kunzea ericoides</i>	Kanuka
<i>Leptospermum scoparium</i>	Tea Tree
<i>Pandorea pandorana</i>	Wonga Vine [C]
<i>Prostanthera cuneata</i>	Alpine Mint Bush
<i>Westringea fruticosa</i>	Coastal Rosemary

*Tall Tree – do not plant within 5m of structures

Perennials (P), Grasses (G) and Groundcovers (GC)	Common Name
<i>Anigozanthos</i> spp.	Kangaroo Paw (P)
<i>Blechnum penna-marina</i>	Alpine Water Fern (P)
<i>Brachycome multifida</i>	Cut Leaf Daisy (P)
<i>Bracteantha bractea</i>	Everlasting Daisy (P)
<i>Dampiera diversifolia</i>	Kangaroo Lobelia (GC)
<i>Dianella tasmanica</i>	Flax Lily (G)
<i>Doodia aspera</i>	Rasp Fern (GC)
<i>Doryanthes excelsa</i>	Gymea Lily (P)
<i>Elvira</i> sp.	Lavender Grass (G)
<i>Goodenia hederacea</i>	Forest Goodenia (P)
<i>Grevillea 'Poorinda Royal Mantle'</i>	Trailing Grevillea (GC)
<i>Hardenbergia violacea</i>	False Sarsparilla (GC)
<i>Hibbertia scandens</i>	Snake Vine (GC)
<i>Lomandra</i> spp.	Mat Rush (P)
<i>Myoporum debile</i>	Creeping Boobialla (P)
<i>Myoporum parvifolium</i>	Boobialla (P)
<i>Pennisetum alopecuroides</i>	Swamp Foxtail (G)
<i>Poa labillardieri</i> cvs.	Tussock Grass (G)
<i>Polystichum proliferum</i>	Mother Shield Fern (GC)
<i>Pultenaea pedunculata</i>	Matted Pea Bush (GC)
<i>Scleranthus biflorus</i>	Knawel (GC)
<i>Themeda australis</i>	Kangaroo Grass (G)
<i>Viola hederacea</i>	Native Violet (GC)
<i>Wahlenbergia stricta</i>	Tall Bluebell (P)

13.5 Rear Buffer Zone

Function

- to provide an interface between public areas (eg Golf Course and parkland) and individual Lots
- to foster the preferred landscape character throughout The Vintage
- to frame desirable views and to accentuate vistas
- to provide a moderate level of privacy without fully screening the top of buildings.

Requirements

- views to the Golf Course, lakes and parkland are to be retained. Planting areas fronting these elements should frame views and accentuate vistas.
- the adjoining 3 metres inside the rear boundary is to be primarily (ie not less than 80%) planted out with plant material selected from the Recommended Species List: Zone 4a - Rear Buffer Zone (Holes 1-6) or Recommended Species List: Zone 4b - Rear Buffer Zone (Holes 7-18) depending on the Lot's location relative to the nominated holes. At least two trees are to be selected from either appropriate list. Should a Lot not front a hole, then the nearest hole shall be used for determining the appropriate Recommended Species List.

- planting may be extended up to 2 metres outside the rear boundary to encourage a natural rambling transition, softening the boundaries between private and Golf Course land. Plants must be selected from those used in the Rear Buffer Zone. This planting will be at the Owners' expense. It is the Owners' responsibility to maintain and irrigate this additional planting to promote establishment and healthy growth. Failure to adequately maintain the planting may result in the Community Association removing the planting and re-establishing turf or some other plant material at its own discretion.
- a maximum of 40% turf may be used in this zone. **Kikuyu is not allowed.**
- outdoor structures of construction works are not permitted within the zone with the exception of pool fencing.
- when the rear areas of Rural Residential Lots have not been planted out by the developer, it is necessary for a Rear Buffer Zone to be established. The Rear Buffer Zone MUST be a minimum of 10 metres wide and be planted using trees selected from Zone 4a - Rear Buffer Zone planted at an average rate of 1 tree per 20m.

Anigozanthus cv flower



Hibbertia scandens flower



Crinum pedunculatum flower



Lomandra longifolia mass



13.6 Parkland Buffer Zone (where applicable)

Function

- to provide an interface between public areas (eg parkland) and individual Lots
- to foster the preferred landscape character throughout The Vintage
- to provide privacy between public and private spaces.

Requirements

- The adjoining 3 metres (where available) inside the common boundary between parkland and an individual Lot shall be planted out with plant material selected from the Recommended Species List: Zone 4a - Rear Buffer Zone (Holes 1-6) or Recommended Species List: Zone 4b - Rear Buffer Zone (Holes 7-18) depending on the Lots location in relation to the nominated holes.
- Planting may be extended up to 2 metres outside the rear boundary to encourage a natural rambling transition, softening the boundaries between private and community land. Plants must be selected from those used in the Rear Buffer Zone. This planting will be at the Owners' expense. It is the Owners' responsibility to maintain and irrigate this additional planting to promote establishment and healthy growth. Failure to adequately maintain the planting may result in the Community Association planting turf or some other plant material at its own discretion.

ZONE 4b - Rear buffer zone (Lots adjoining holes 7 to 18)

Native Trees	Common Name
<i>Banksia integrifolia</i>	Coast Banksia
<i>Brachychiton populenus</i>	Kurrajong
<i>Melia azedarach</i> var. <i>australasica</i> *	White Cedar

Accent Trees	Common Name
<i>Acer palmatum</i>	Japanese Maple
<i>Albizia julibrissin</i> *	Silk Tree
<i>Cornus florida</i> *	Dogwood
<i>Fraxinus angustifolia</i> 'Raywoodii'*	Claret Ash
<i>Gleditsia tricanthos</i> *	Honey Locust
<i>Jacaranda mimosifolia</i> *	Jacaranda
<i>Laurus nobilis</i>	Bay Tree
<i>Liriodendron tulipifera</i> *	Tulip Tree
<i>Magnolia x soulangiana</i>	Saucer Magnolia
<i>Prunus</i> sp.	Cherry Plum
<i>Pyrus</i> sp.*	Pear
<i>Tamarix parviflora</i>	Early Tamarisk
<i>Ulmus parvifolia</i> *	Chinese Elm

*Tall Tree – do not plant within 5m of structures

Native Shrubs and Climbers (C)	Common Name
<i>Acmena smithii</i> cvs.	Lilypilly
<i>Agonis flexuosa</i> 'Nana'	Dwarf Willow Myrtle
<i>Baeckea virgata</i>	Baeckea
<i>Banksia robur</i>	Large-Leaf Banksia
<i>Banksia serrata</i>	Old Man Banksia
<i>Banksia spinulosa</i>	Hairpin Banksia
<i>Callistemon citrinus</i> cvs.	Scarlet Bottlebrush
<i>Callistemon salignus</i> cvs.	Pink-Tipped Bottlebrush
<i>Callistemon viminalis</i> cvs.	Weeping Bottlebrush
<i>Correa alba</i>	Native Fuchsia
<i>Correa reflexa</i>	Native fuchsia
<i>Epacris microphylla</i>	Small -Leaved Heath
<i>Grevillea lanigera</i>	Woolly Grevillea
<i>Grevillea longifolia</i>	Grevillea
<i>Hakea purpurea</i>	Hakea
<i>Hakea salicifolia</i>	Willow-Leaved Hakea
<i>Hakea sericea</i>	Silky Hakea
<i>Kunzea ericoides</i>	Kanuka
<i>Leptospermum scoparium</i>	Tea Tree
<i>Pandorea pandorana</i>	Wonga Vine (C)
<i>Pomaderris lanigera</i>	Woolly Pomaderris
<i>Prostanthera cuneata</i>	Alpine Mint Bush
<i>Westringea fruticosa</i>	Coastal Rosemary

Accent Shrubs and Climbers (C)	Common Name
<i>Abelia grandiflora</i>	Abelia
<i>Abutilon megapotamicum</i>	Chinese Lantern
<i>Acanthus mollis</i>	Bear's Breeches
<i>Ardisia crispa</i>	Coralberry
<i>Buddleja alternifolia</i>	Butterfly Bush
<i>Ceanothus</i> sp.	Californian Lilac
<i>Choisya ternata</i>	Mexican Orange Blossom
<i>Clematis montana</i>	Virgin's Bower (C)
<i>Cytissus</i> spp.	Broom
<i>Elaeagnus macrophylla</i>	Elaeagnus
<i>Escallonia macrantha</i>	Escallonia
<i>Genista lydia</i>	Dwarf Broom
<i>Iberis sempervirens</i>	Candy Tuft
<i>Lavandula</i> cvs.	Lavender
<i>Mahonia aquifolium</i>	Oregon Holly grape
<i>Murraya paniculata</i>	Mock Orange
<i>Osmanthus fragrans</i>	Sweet Osmanthus
<i>Parthenocissus tricuspidata</i>	Boston Ivy (C)
<i>Philadelphus x virginialis</i>	Mock Orange
<i>Photinia glabra</i> 'Rubens'	Photinia
<i>Pieris japonica</i> cvs.	Lily-of-The-Valley-Shrub
<i>Prunus laurocerasus</i>	Cherry Laurel
<i>Rhododendron decorum</i>	Azalea
<i>Spiraea thunbergii</i> cvs.	May Bush
<i>Trachelospermum jasminoides</i>	Star Jasmine (C)
<i>Viburnum odoratissimum</i>	Viburnum
<i>Viburnum tinus</i>	Lauristinus
<i>Vitis Vinifera</i> 'Alicante Bouchet'	Ornamental Grape (C)

Native Perennials (P), Grasses (G) and Groundcovers (GC)	Common Name
<i>Actinotus helanthis</i>	Flannel Flower (P)
<i>Anigozanthos</i> spp.	Kangaroo Paw (P)
<i>Blechnum penna-marina</i>	Alpine Water Fern (P)
<i>Brachycome multifida</i>	Cut Leaf Daisy (P)
<i>Bracteantha bracteata</i>	Everlasting Daisy (P)
<i>Dampiera diversifolia</i>	Kangaroo Lobelia (GC)
<i>Dianella tasmanica</i>	Flax Lily (G)
<i>Doodia aspera</i>	Rasp Fern (GC)
<i>Doryanthes excelsa</i>	Gymea Lily (P)
<i>Elvira</i> sp.	Lavender Grass (G)
<i>Goodenia hederacea</i>	Forest Goodenia (P)
<i>Grevillea</i> 'Poorinda Royal Mantle'	Trailing Grevillea (GC)
<i>Hardenbergia violacea</i>	False Sarsparilla (GC)
<i>Hibbertia scandens</i>	Snake Vine (GC)
<i>Lomandra</i> spp.	Mat Rush (P)
<i>Myoporum debile</i>	Creeping Boobialla (P)
<i>Myoporum parvifolium</i>	Boobialla (P)
<i>Pennisetum alopecuroides</i>	Swamp Foxtail (G)
<i>Poa labillardieri</i> cvs.	Tussock Grass (G)
<i>Polystichum proliferum</i>	Mother Shield Fern (GC)
<i>Pultenaea pedunculata</i>	Matted Pea Bush (GC)
<i>Scleranthus biflorus</i>	Knawel (GC)
<i>Themeda australis</i>	Kangaroo Grass (G)
<i>Viola hederacea</i>	Native Violet (GC)
<i>Wahlenbergia stricta</i>	Tall Bluebell (P)

Accent Perennials (P), Grasses (G) and Groundcovers (GC)	Common Name
<i>Ajuga reptans</i> cvs.	Carpet Bugle (GC)
<i>Anemone x hybrida</i>	Japanese Wind Flower (P)
<i>Anthemis</i> sp.	Fennel (P)
<i>Aubretia</i> cvs.	Aubretia (P)
<i>Carex testacea</i>	Sedge (G)
<i>Centaurea cyanus</i>	Bachelor's Button (P)
<i>Clematis integrifolia</i>	Virgin's Bower (P)
<i>Convolvulus cneorum</i>	Silver Bush (P)
<i>Cotoneaster damneri</i>	Prostrate Cotoneaster (GC)
<i>Erica carnea</i>	Alpine Heath (P)
<i>Festuca glauca</i>	Blue Fescue (G)
<i>Helichrysum italicum</i>	Curry Plant (P)
<i>Kniphofia hybrida</i>	Red Hot Poker (P)
<i>Kniphofia uvaria</i>	Torch Lily (P)
<i>Liriope muscari</i>	Lily Turf (P)
<i>Lunaria annua</i>	Moneywort (P)
<i>Lysimachia nummularia</i>	Creeping Jenny (GC)
<i>Miscanthus sinensis</i>	Japanese Silver Grass (G)
<i>Phormium tenax</i>	New Zealand Flax (P)
<i>Prunella laciniata</i>	Self Heal (P)
<i>Pulmonaria angustifolia</i>	Blue Cowslip (P)
<i>Rosmarinus</i> 'Blue Lagoon'	Groundcover Rosemary (P)
<i>Salvia</i> spp.	Sage (P)
<i>Vinca minor</i>	Creeping Myrtle (GC)
<i>Viola odorata</i>	Sweet Violet (GC)

Landscape elements

14.1 Features

Structures and features that enhance the indoor-outdoor lifestyle of The Vintage assist in celebrating the qualities of the site. They create a focal point of interest, add variety, frame views and outlooks, and create private spaces within Lots.

Materials used within the landscape are to be consistent with the rural setting of The Vintage. They should:

- reflect earthy and warm tones
- use long lasting, quality materials
- be traditional to the Hunter Valley
- be robust in detailing and construction.

Materials such as natural stones, timbers and iron are to be used in a manner that gives an established, permanent and quality appearance.

14.2 Turf

The preferred turf for The Vintage is Couch (Cynodon dactylon) as it is drought resistant and wear tolerant. The better performing cultivars are Wintergreen or CT2. Couch browns off during the cooler months; bouncing back as daily temperatures increase. Couch has generally been used in the public areas of The Vintage.

Kikuyu (Pennisetum clandestinum) and Buffalo (Stenotaphrum secundatum) are also acceptable turf species. To make sure that these turf species do not grow into adjoining public areas, they MUST be planted, with at least a one metre separation from public areas. Other turf varieties may be used based on the merits, subject to the approval of DRC.

14.3 Absorbent landscaping

To maintain the environmental benefits of the landscape, it is important to maintain



as much absorbent or 'soft' landscaping as possible. Absorbent landscaping is the area of the Lot that is not covered by buildings, or hard surface areas such as paving.

Absorbent areas are to constitute a minimum of 25% of a Lot and MUST contain permeable surface finishes such as grasses, planting and garden beds. Absorbent materials may include gravel and eco-paving.

14.4 Mulching

To reduce evaporation and reduce water usage, mulch is to be applied around trees and shrubs and within planting and garden beds. The mulch used must be sympathetic with the landscape character of The Vintage and will therefore incorporate organic material free of weed.

14.5 Tree retention

Within Lots and public areas, the removal of any existing mature trees with a trunk diameter of 100mm or greater, or trees planted by the DRC or the Developer, is not permitted without the approval of the DRC.

Existing trees on and immediately adjacent to Lots must be located on the relevant plans submitted to the DRC for dwelling design approval.

14.6 Driveways and visitor parking

Only one driveway is permitted for each Lot. Visitor parking must be incorporated into the driveway as stacked parking in front of the garage. Extra parking is not to be included outside of this driveway area.

The driveway MUST be a minimum of 750mm from the side boundary where the driveway crosses the front boundary, to accommodate screen planting or turf.

The maximum width of the driveway at the front boundary MUST be 4.5 metres.

The full width of the driveway MUST be paved using paving materials that provide a permanent hard surface, compatible with the general landscape of the street and materials and colours of the associated dwelling. Acceptable finishes for driveways are:

- concrete flag pavers
- clay pavers
- exposed aggregate or brushed coloured concrete
- granite setts.

The selected materials must finish at the Lot boundary. In non-gated communities, the owner MUST use Brandy Hill gravel with red oxide (The Vintage standard materials) to complete the driveway from the Lot boundary to the road. This is available through Pioneer Concrete,

Cessnock. Your Community Association Manager can help if required.

In gated communities the Owner's chosen driveway material can be carried through to the street.

14.7 Maintaining a pleasant outlook

Screening, either planting or timber, is required to shield from public view:

- clotheslines
- children's play equipment
- services areas
- shade structures.

Hot water, gas systems, air conditioners, irrigation management systems and rubbish bins should be contained within a screened service courtyard. See **Enclosed service courtyard** on page 36.

Incinerators are not permitted within The Vintage.

Outdoor BBQs and outdoor fireplaces must not be located where disturbance to adjoining Lot Owners will occur.

To maintain an attractive overall streetscape, trucks, commercial vehicles, caravans, boats, trailers, or recreational vehicles may not be parked on Lots unless they are completely housed within a garage or carport or otherwise satisfactorily screened from public view.



The Vintage soil and climate summary

Understanding the local conditions is critical when designing landscaping.

15.1 Native vegetation

The indigenous woodland vegetation includes *Corymbia maculata* (Spotted Gum), *Eucalyptus tereticornis* (Forest Red Gum), *Eucalyptus eugenoides* (Stringybark) and *Eucalyptus creba* (Ironbark) as dominant trees. *Melaleuca decora* and *Melaleuca stypheloides* (Paperbark) occur in natural drainage lines.

15.2 Soil

At The Vintage, topsoil pH ranges from 5.5 –7 (acid-neutral), with an average of 6.1 (slightly acid). Generally the soils are best suited for natives without modifications. The soils have a low to moderate fertility with no known nutrient deficiencies and generally hard setting surface conditions. It is recommended that existing soils be mixed with composted organic material with slow release fertiliser added when planting out.

Water holding capacity and erosion hazard is moderate to high, with a slow to moderate soil permeability. The use of clay breaker or gypsum would help to improve soil texture.

15.3 Climate

Average annual rainfall for Cessnock is 671mm, with an average of 83mm per month during summer, reducing to an average of 34mm per month in winter. The winter rainfall is more variable than summer rain. Annual rainfall is less than that of Sydney, therefore the use of native plants, mulch and water holding crystals and the installation of irrigation systems is recommended.

Available soil moisture is high throughout the year, peaking in winter as low evaporation rates compensate for lower rainfall. Low temperatures and frost from May to October limit plant growth. Frost frequency is greatest during July, with frequency slightly reduced during June and August. Expect 7-10 days of frost during the middle of winter. Although it is expected this number to be less once The Vintage is fully constructed, consideration should be given to frost resistant plants and avoiding those that are frost tender.

15.3.1 Winds

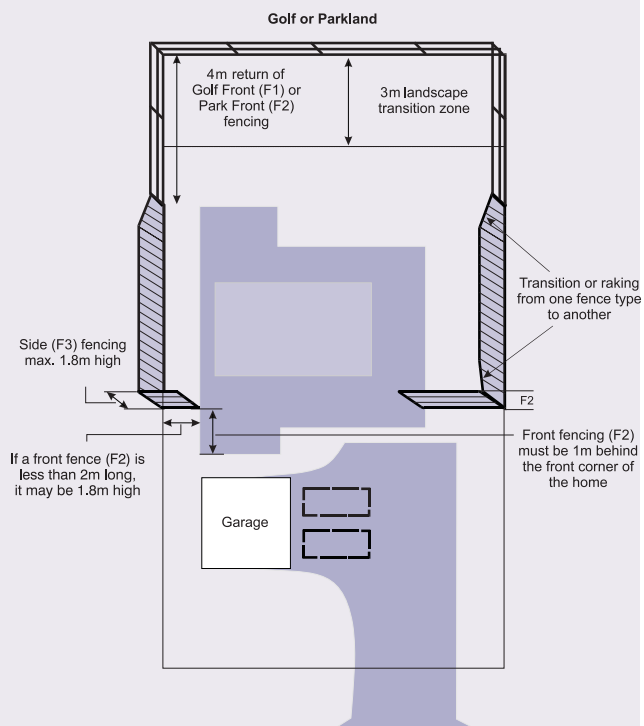
Wind velocity is lowest in the morning, generally increasing in the afternoon throughout the year. April and May recorded the lowest daily wind velocities and the strongest winds occur during September, arising from the northwest quadrant.

Winds arise from the southeast quadrant during summer and March mornings, strengthening during the afternoon and turning east and southeast. During April and May winds arise from the north and northwest in the morning and turn to the southeast during the afternoon.

Moderately strong winds arise from the northwest quadrant during winter and September-October mornings, strengthening and turning to the northwest and southwest during the afternoons of June and July. Winds arise from the south and northwest during November mornings, turning to the south and east in the afternoon.

In summary, it is best to protect sites from cold northwest winds during winter, and to accommodate winds from the east to the south during summer months, although some of these winds may be quite strong.

FENCING



Fencing

16.1 The preference at The Vintage is for no fencing at all, in an effort to recreate the open, semi-rural environment of the Hunter Valley. Informal native landscaping for privacy and security is encouraged as an alternative to fencing. Otherwise, you may use the options allocated to the Lot in the Fencing Diagram. To the left is a generic example of fencing permitted at The Vintage. Refer to the individual Fencing Diagram for your Lot.

Fences are used to reinforce the rural character identified by the Vision, not to dominate the landscape.

Transition details such as raking are required between the front, side and rear fencing.

Fencing in The Vintage comes under the Dividing Fences Act of 1991 No 72. If there is an existing fence, the DRC will use its discretion. Any fencing disputes between neighbours that cannot be resolved with the help of the DRC, will be referred to the Council.

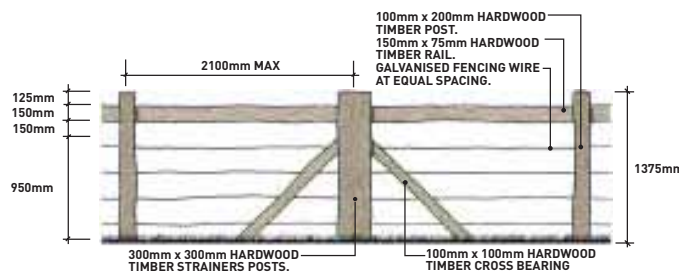
16.2 Golf Course front fencing - Type F1

At this stage, the installation of Golf Course fencing [Type F1] is at the discretion of each individual owner. Such fences may include complementary gates subject to the approval of the DRC.

The Vintage reserves the right to direct Owners to erect Golf Course fencing in accordance with the Guidelines should circumstances in the future require that access onto the Golf Course be restricted. If so directed, each owner will be responsible for the cost and maintenance of such fencing. Where previously erected fencing has a gate or other similar opening, then the owner will be required to modify the fence so that access is restricted.

F1 fencing MUST return 4 metres along side boundaries unless indicated otherwise on the relevant fencing diagram.

F1 fencing should be combined with landscape screen planting (e.g. hedges, shrubs etc.) to provide privacy to outdoor living spaces.



F1- SINGLE POST & RAIL FENCE GOLF FRONT FENCING



F2- ALTERNATE POST & RAIL FRONT & PARK FRONT FENCING

16.3 Park front fencing - Type

F2 fencing is located in full view of public parkland and often interfaces with the private open space of houses. To ensure visual consistency, F2 fencing MUST return 4 metres along the side boundaries of Lots to the point at which side boundary fencing starts.

Gates, consistent with the fence detail and materials, are permitted in park front fencing. F2 fencing should be combined with landscape screen planting (eg hedges, shrubs) to provide privacy for outdoor living spaces.

For the exact park front fencing requirements for your Lot, refer to the individual Fencing Diagram.

16.4 Street front fencing - Type F2

In order to ensure a predominance of landscaping in front of dwellings and create attractive streetscapes, front fencing is limited. We encourage you to use informal landscape planting to enclose or distinguish your boundary.

Street front fencing MUST extend 1 metre or more past the corner of the dwelling closest to the front boundary.

If the length of the front fence is:

- less than 2 metres from the side boundary or it is used to screen the service area, the fence may be 1.8 metres (F3) high with landscaping.
- over 2 metres, there must be suitable screening landscaping in front of it.

Gates matching the front fence detail and materials are permitted.

If street front fencing is required for a Rural Residential Lot, then a Type F2 MUST be used. It should be located across the Lot and set three metres back from the boundary. Trees and other plantings are encouraged to soften the effect of the fencing. Gates should match the fencing. Entry statements are not permitted.

16.4.1 Secondary street frontages on corner Lots - Type F2

Front fencing (Type F2) MUST be used on the secondary street front boundary.

This 1.375 metre high fence may run from the alignment of the front fence to the

rear boundary. The need for privacy of outdoor space within corner Lots should be addressed by the layout of the dwelling integrated with a landscape design providing visual screening.

Gates are not permitted in fences of secondary street frontages on corner Lots.

16.5 Side/privacy fencing - Type F3

Side boundary fencing (Type F3) provides privacy between neighbouring homes and along the rear boundary alignment for Lots that back on to neighbouring Lots.

Type F3 fences MUST be 1.8 metres high (except within transition zones), finishing more than 1 metre behind the adjacent front corner of the house closest to the front boundary.

They MUST be aligned with the front fencing and provide a raked transition to the front fencing.

The fence MUST be a minimum of 1.8 metres above finished ground level and should step to follow changes in ground level. Fences should not exceed 2.1 metres above finished ground.

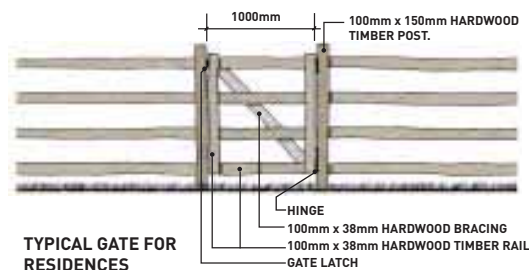
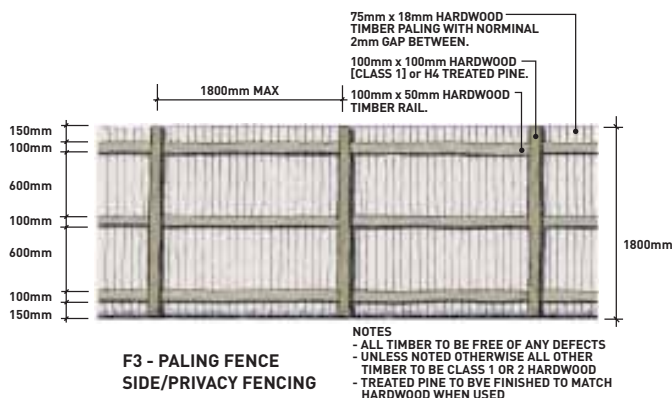
Up to 60% of the side fence may be masonry. If masonry is used, it must be within the centre width of the fence, so that it is not visible from the public areas. Timber must be used in the front and rear sections of the fence. The timber must not be rough sawn. Gates are not permitted in side fencing.

16.6 Pool fencing

Pool fencing using transparent balustrading is encouraged. Other fencing types will be considered by the DRC on their merits on a case by case basis.

Pool fencing MUST be approved by the DRC before construction.

All pool fencing MUST comply with relevant Australian Standards and Council regulations.



Enclosed service courtyard

17.1 An enclosed service courtyard should be located off the laundry and screened by landscaping and/or appropriate timber screening. This houses any water heaters, air conditioning units, gas systems and garbage disposal bins.

17.2 Air conditioners

If air conditioners are going to be installed in the home, they **MUST** be included in the plans in the service courtyard. They must be located below the eave line and screened from public view and neighbouring Lots, preferably within an enclosed service courtyard.

Roof-mounted or unscreened wall and window mounted air conditioning units facing the street or parks are not permitted.

Where the DRC deems necessary for acoustic privacy of adjoining Lots, air conditioners shall have sound attenuation measures.

17.3 Solar water heaters

Solar water heaters on roofs **MUST** be located to minimise their visibility from public areas. Solar collector panels must be fitted flat on the roof, with no supporting frames. Storage tanks are to be detached and concealed from view by appropriate screening, preferably within an enclosed service courtyard.

17.4 Rain water tanks

Underground water tanks are preferred but should be sensitively located so pumps are not visible from public areas.

Above ground tanks may be considered by the DRC if they are within the enclosed service courtyard or are an integral element of the architectural character of the dwelling. The tank must be Custom Blue Orb in a pre-painted finish of medium to dark grey.

This home has used timber screening to hide utilities from public view



Ancillary structures

18.1 Outdoor structures

Outdoor structures that are less than 9 square metres in area, such as sheds, gazebos and garbage bin enclosures, are generally permitted provided they are sensitively located and constructed in material compatible with the main dwelling.

Prefabricated galvanised metal garden sheds or aviaries are not permitted.

Outdoor structures MUST be located within the building envelope provided by Lot setbacks.

Outdoor structures may NOT be built to any boundary alignment or within the rear setback of a Lot fronting the Golf Course. Outdoor structures must be shown on site plans and submitted to the DRC for approval. Open type pergolas may be built to the alignment of a side boundary. No part of any structure abutting a side boundary is to be attached to the wall of an adjoining building.

18.2 Pools

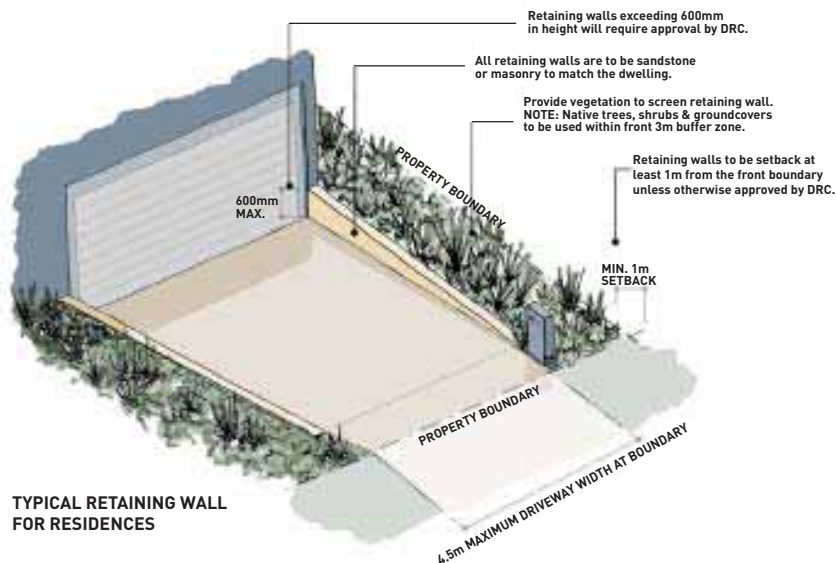
Pools MUST be wholly within the Lot boundary and not within any buffer zones. Pools and associated pumps and filters must be screened from public open space areas and adjoining Lots. Acoustic issues arising from pumps near neighbouring boundaries must be considered.

Associated fencing (see Pool fencing on page 35), hardscape areas and shade structures should be designed and detailed in a manner complementary to the main dwelling. The maximum exposed edge of any concrete slab associated with pool construction when viewed from any elevation may not exceed 150 mm.

18.3 Retaining walls

Retaining walls running parallel to the street MUST have a minimum setback of at least 2 metres. Retaining walls are not permitted within the Golf Course or park front landscape transition zone.

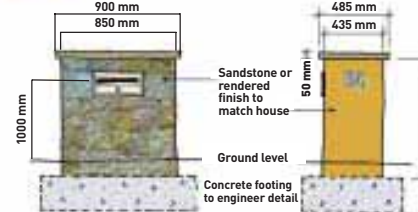
A retaining wall that runs perpendicular to the front boundary may be used to provide an appropriate driveway to a home. It may run up to the front boundary as long as it is at ground level at least 1 metre behind the front boundary (refer to diagram below).



Letterbox building and placement

Letterbox MUST equal MCH Manufacturing wall type No 2, in wall mount and front opening. Key locking with 300 mm mail slot. Available in a wide range of powder coat colours and rust corrosion

Letterbox



All retaining walls visible from public areas, the Golf Course or neighbouring dwellings ideally MUST be screened with informal native planting and consist of stone (eg sandstone) or masonry matching the materials, details and finishes of the dwelling. They may be used to stabilise a site, but not to create a garden bed.

Excavation or fill exceeding 600 mm will require approval by DRC and must be shown on a landscape plan when seeking approval.

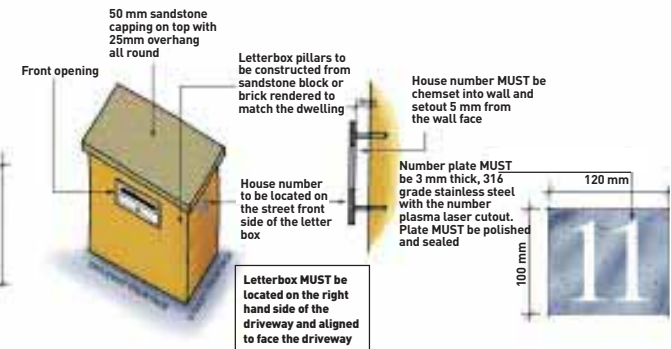
18.4 Letterboxes

The requirement for the standard letterbox at The Vintage is detailed below. Letterboxes MUST be consistent with the materials and detail of the main dwelling or combined with landscaping to achieve a feature element integrated into the streetscape.

Letterboxes must be positioned on your property inside your front boundary.

Australia Post will deliver mail to each home in The Vintage by van and requires your letterbox slot to:

- be located on the right hand side and facing in towards the home's driveway at a height of 1000 mm
- face your driveway to allow the postman to reach from the driver's window of the van.
- 330mm deep x 230mm wide x 160mm high (Aust Post Standard).



18.5 Television/radio antennae and satellite dishes

The Vintage may be serviced by a fully reticulated communications system providing a complete range of television and internet services. Homes will be required to integrate into the broadband and intercom infrastructure.

To ensure your home is capable of using this technology if it becomes available we recommend you "pre-wire" your home during construction to the following specifications.

18.5.1 For broadband connection

The run-in pedestal to the house junction box (common trench) should be:

- Conduit - 25mm communication conduit with 25 mm sweeps (no bends or elbows)
- Cable - RG11 quad shield flooded co-ax (Foxtel/Austar approved)
- Connector - RG11 waterproof "F" (Foxtel/Austar approved)

18.5.2 For satellite television

The house internals (up to 4 TV outlet points) should be:

- Outlet sockets "F" type (Foxtel/Austar approved)
- Cable RG6 quad shield co-ax (Foxtel/Austar approved)
- Splitter "F" type 5MHz - 2500GHz (Foxtel/Austar approved)
- Connectors RG6 "F" (Foxtel/Austar approved)
- Junction Box - UV protected

Note: only "F" type crimpers to be used on connectors.

In the interim, external antennae or dishes are permitted, preferably not visible from public areas, in particular the Golf Course and require DRC approval. If the system is commissioned, all external antennae or dishes must be removed at the Owners expense. Internal or under the roof antennae are strongly encouraged.

18.6 Lighting

Lighting to the front of Lots MUST be compatible with the design of the dwelling, the existing type and location of external lighting, and the general theme of the neighbourhood.

Security lighting, such as flood lights mounted under eaves, should be directed downwards and shielded to avoid direct glare visible by adjoining Lot Owners, or those using adjoining Lots or roads.

Floodlighting is NOT permitted to the rear of Lots.

Lighting is permitted at the rear of the Lot as long as it does not affect neighbouring homes or is directly visible from open space areas.

18.7 Temporary structures

Temporary or relocatable structures MUST not be erected or located on a Lot unless for use in connection with the building of a dwelling and must have DRC approval.

18.8 Signs

Signs and boardings advertising a business or product are not permitted on Lots with the exception of appropriate "Display Home" or "For Sale" signage which may only be erected with the prior approval of the Community Association or the Developer.

However, the DRC will consider on design merit signage used to identify and/or locate a business run from a dwelling (defined as a detached house) or as an approved home occupation. Signage must complement the building structure and be a maximum of 600mm x 400mm.

Builders/tradespersons' signs required by law are permitted on Lots during the construction period only.





Submitting your plans for approval

Before you submit a development or construction certificate Application to Council or a private certifier, you must obtain DRC approval for any construction or landscaping on a Lot.

The approval process detailed in these Guidelines is additional to any State or Local Government building or planning approval requirements.

Before you submit your plans to the DRC, contact the Community Association Manager and ask them to arrange a 30 minute meeting with the DRC consultant architect in Newcastle to present and discuss the design for your home. This will help to identify any issues that may not be approved by the DRC and therefore will save you time later.

The Applicant is responsible for ensuring conformity with all relevant cognate legislation and regulations.

What do I need to submit to the DRC?

19.1 You need to submit the following to the DRC:

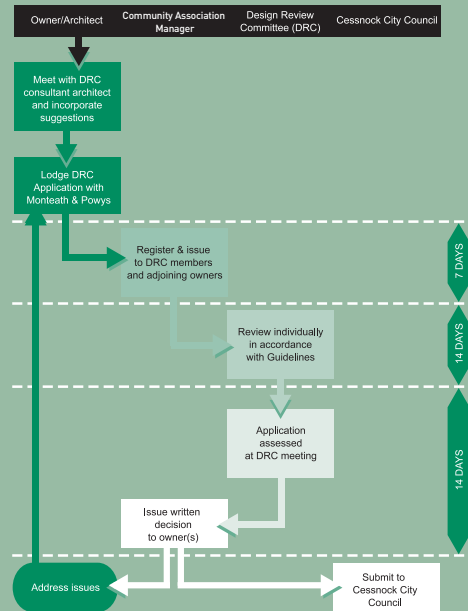
- the completed **Sketch Design Review Application** form in the back of this booklet
- six sets of each of the following:
 - site plan (and landscape layout)
 - floor plan
 - front, rear and side elevations
 - area schedules
 - completed **Sketch Design Materials Finishes List** form in the back of this booklet
 - one board of external finishes materials and colours
 - contour and boundary survey.

No fee is required for the first submission, however the DRC will charge an administration cost for all subsequent Applications.

Who do I give it to?

Send these to the Community Association Manager.

AVERAGE APPROVAL PROCESS TIMELINE FOR A FULLY COMPLIANT SUBMISSION



Submitting your plans for approval

19.2 How long will it take?

The DRC apply the same rigorous checks to all Applications received, regardless of the nature of the development. The purpose of these reviews is to ensure that the high standard of design and construction are maintained within The Vintage, protecting the investment of all Owners, for now and for the future.

Naturally, approval will be granted more quickly if your architect has adhered to the Guidelines and incorporated suggestions from the consultant architect. The timeline on the left gives you an idea of how long the average approval process takes if the Guidelines are fully adhered to at first submission.

A letter will be sent to you within 14 days after the DRC meeting to inform you of your Application's status.

19.3 What if my plans are approved/not approved?

If your plans are approved with alterations or more information/documentation is required, you may resubmit your plans with the required alterations within 14 days of notification. If you do not comply, the DRC is able to refuse your Application.

If your plans are not approved, you may arrange a meeting with the DRC consultant architect to review your Application and discuss why it was not successful at this time. You may resubmit your plans with the required alterations within 14 days of notification. If you do not comply, the DRC is able to refuse your Application.

Rights of the Adjoining Owners to make submissions are dealt with in the Management Statement. If the DRC cannot resolve an issue or objections raised by Adjoining Owners, the matter will be submitted to Council.

19.4 What do I do when it is approved?

When your architecture and landscape design is approved by the DRC, you will receive a **Certificate of Approval** with or without conditions. Annexed to the certificate will be a stamped copy of your approved plans for lodgement with Council. The approval letter clearly states what you need to do to submit your plans to Council.

Council must have the DRC stamped certificate and Architecture and Landscape Design Plans before they will accept your Application.

A copy of the certificate and stamped plans issued by the DRC must be lodged with the Development Application.

You have the option of submitting a Development Application (DA) and separate Construction Certificate (CC), however we recommend a combined DA/CC.

Can I change my plans after approval?

Variations to an Application must be resubmitted to the DRC for approval by the DRC. Variations include all external changes to the dwelling.

The variation must be clearly identified on the relevant plans and justified. The DRC is under no obligation to approve variations.

19.5 What happens next?

Once Council has approved your plans, you must present the Council stamped plans to the DRC to ensure any amendments made by Council are consistent with the Guidelines and your DRC approval. Any amendments or variations must be clearly identified.

At this time, you must also provide to the Community Association Manager:

- a construction bond cheque payable to the Community Association, for an amount determined by the Community Association (in the form of an unconditional promise by a bank acceptable to the Community Association). This will be used to pay the Community Association if there is any unrepaired damage to Community Association Property or other Lots during any construction program.
- the completed **Construction Commencement Application Form** (Appendix C).

Upon completion of your home the DRC will inspect the dwelling to ensure it has been constructed in accordance with the approved plans and schedules, and that any damage to Community Property or neighbouring Lots has been repaired. Once satisfied the DRC will issue a Final Inspection Form (Appendix G).

The Community Association Manager will return your bond after the receipt of this Form.

We recommend that prior to construction commencement your builder undertakes a detailed site inspection with your Community Association Manager.

Building your home

No one wants to live in a permanent construction zone.

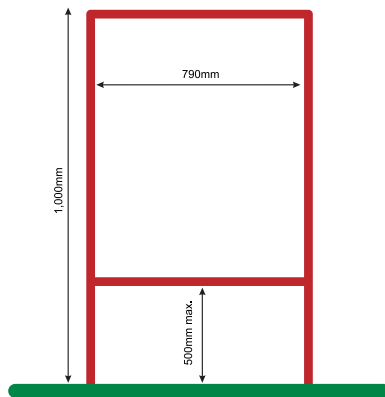
The first few years of any residential estate development can be disruptive for all concerned - residents and builders alike. As residents of a premier golf estate we also have to consider members of the Golf Course and their guests.

To maintain as high a quality of life as possible during this development phase, we request that all Owners and their builders follow the minimum requirements described in this section. Give a copy of this section to your builder so they know what is expected of them.



The Golf Course is private property and should not be entered

APPROVED SIGNBOARD DURING CONSTRUCTION



Construction bond and application

- 20.1 Prior to construction of your home, you **MUST** lodge your Council approved plans and a construction bond with the Community Association Manager.

After checking that your plans match the DRC approved plans, the Community Association Manager will issue a construction approval letter. Upon receipt of this approval letter you may commence construction of your home.

The release of your bond, at the completion of construction is subject to the Community Association Manager:

- receiving final certificates from the certifier
- being notified by the DRC that the home has been constructed and landscaped in accordance with the DRC approved plans
- being satisfied that no damage has occurred to the Community Association land and/or the adjoining properties.

Signage

- 20.2 Only one sign per builder is permitted on a Lot during construction. This sign **MUST**:

- be a maximum overall size of 790mm wide x 1000mm high
- have a frame constructed from steel square tub 50 x 50 finished in 'colorbond' HEADLAND
- WHITE 'colorbond' metal sheet sign board within the HEADLAND metal frame.

This sign **MUST** contain:

- the words "DANGER CONSTRUCTION SITE - UNAUTHORISED ENTRY PROHIBITED"
- the name of the person in charge of the site with an after hours contact phone number
- the builders licence numbers or owner builders permit numbers
- all other information required by regulatory authorities and Department of Fair Trading.

The sign **MUST** be removed on the completion of construction works and prior to the release of the construction bond.

Fencing

- 20.3 A full boundary temporary fence **MUST** be erected for the whole of the construction period. The fence **MUST** be a minimum of 1.8m high, piped frame with chain wire mesh and concrete base supports.

Vehicle access

- 20.4 Vehicle access to a Lot **MUST** be made via internal roads in The Vintage.

Vehicles are **NOT** permitted to drive across adjacent Lots unless written permission has been obtained from the adjoining Lot Owners.

During construction, vehicles associated with the construction of a dwelling should **NOT** be parked on the footpath area.

Adjoining property

- 20.5 Damage to adjoining property, verges, cart paths, footpaths and parklands is the responsibility of the Owner to repair prior to return of security bonds.



Site control

- 20.6 The Lot **MUST** be regularly maintained and kept cleared of excessive weeds, rubbish and building waste to a standard acceptable to the Community Association.

Exposed embankments **MUST** be stabilised and/or retained immediately after site works have been completed.

Lot Owners are responsible for any damage to any other Lot that may be caused during the construction period.

Stockpiles

- 20.7 Stock piles and building materials for individual Lots **MUST** not be located on footpaths, road reserves or within an overland flow path.

All stockpiles and building materials **MUST** be located within the Sediment Control Zone.

Building waste and spillage

- 20.8 To ensure building waste does not pollute the Golf Course, wetlands and Community Property, all loose rubbish **MUST** be stored in a bin at least 1 cubic metre, with a lockable lid. All building waste **MUST** be stored on a Lot in a manner to minimise material loss or pollution caused by wind or water:

- excavation material, rubbish or builder's waste is to be stored in a bin, and may not be deposited on adjoining Lots or in public areas during construction.
- if exposed aggregate surfaces are to be constructed the Owner will be required to demonstrate how residue resulting from exposed aggregate concrete work will be contained on a Lot.
- accidental spills of soil and other materials onto the adjoining roadway **MUST** be reported to your Community Association Manager and should be removed immediately or upon completion of the day's work. Minimise mud and soil on roads by washing off the mud and soil from the roads each day ensuring silt protection is in place on all stormwater inlets.

Stormwater and pollution control

- 20.9 Stormwater pollution from your building site into any part of The Vintage **MUST** be avoided.

Soil, sand, sediment and litter wash from a building site will cause short and long-term problems to a Lot's stormwater system and may damage the Golf Course and wetlands.

Implement effective stormwater pollution control using the following principles:

- sensible site planning
- diversion of up-slope water (if applicable)
- stabilising of Lot entry and exit points
- minimisation of Lot disturbance for the duration of the dwelling construction period
- installation of sediment controls along the low edges of a Lot
- appropriate location and protection of building stockpiles
- early connection of roof water down pipes to the Lot stormwater system
- trapping of run-off from tool and paint washing, brick and tile cutting and other wet activities
- continual maintenance of all control measures
- stabilising of a Lot
- implementation of an erosion and sediment control management plan in accordance with your development application consent approval.

Amenities

- 20.10 Portable toilets are to be located within Lots and adequately fixed to the ground. They **MUST NOT** be placed on the road, road reserve, or adjoining Lots.

Dogs prohibited

- 20.11 For the safety of all residents and employees, dogs or other animals are **NOT** allowed on construction sites.

“All drains and stormwater inlets lead to the dams and wetlands. Any pollution of these areas will result in the immediate notification of the EPA.”



Maintaining our community

Community Property is that portion of the Community Parcel which is owned by the Community Association for the use and enjoyment of Owners, Occupiers and Invitees, in accordance with the Management Statement.

To ensure the continued use and enjoyment of Community Property, the Community Association must maintain Community Property and Improvements located on Community Property as detailed in the Management Statement and these Guidelines.





Maintenance of Community Property

- 21.1 Community Property comprises:
- Open Access Ways
 - Multi Purpose Pathways
 - Service Lines owned by the Community Association
 - Community Facilities.

The Community Association must regularly maintain and sufficiently irrigate the Community Property and Road Verges to promote healthy growth.

This maintenance will be contracted out by the Community Association inline with Management Statement.

Construction and maintenance of Community Facilities

- 21.2 The Community Association must, subject to the Management Statement, regularly maintain Community Facilities located on the Community Property.

Community Facilities must be approved by the DRC and Council prior to construction.

- 21.3 The Developer is not required to submit Applications for any Improvements that are part of The Vintage. Owners and Occupiers are encouraged to inspect plans relative to proposed new work or changes that will be available at the Sales and Information Centre.

Definitions

Adjoining Owner

The first Lot on either side of the Applicant's Lot excluding Community Property within the Community Plan.

Applicants

An Owner who submits plans and specifications for Improvements to the DRC for approval.

Application

An application for Improvements and Landscape Design including detailed plans and specifications of all Improvements and landscaping.

Attic

The space between the roof and ceiling of a garage used as a habitable room.

Building Setback and Height Diagram

The building setback and height diagrams contained in Appendix A.

Community Association

The Community Association being the corporation that:

- (a) is constituted by Section 25 of the Development Act on registration of the Community Plan; and
- (b) is established as an Association by Section 5 of the Management Act.

Community Association Manager

The party as appointed by the Community Association.

Community Facilities

The facilities, amenities and Improvements which may include barbecues, benches and shelters or other authorised Improvements and open space areas located on Community Property.

Community Legislation

Community Legislation includes:

- (a) Community Land Development Act 1989;
- (b) Community Land Management Act 1989;
- (c) Community Land Development Regulation 2000; and
- (d) Community Land Management Regulation 2000.

Community Parcel

The land the subject of the Community Scheme.

Community Plan

Plan of subdivision of the land into Community Lots.

Community Property

Lot 1 in the Community Plan.

Community Scheme

Community Scheme means:

- (a) the subdivision of the Community Parcel by the Community Plan; and
- (b) the rights conferred, and the obligations imposed, by or under the Community Titles Legislation or similar legislation in relation to the Community Association, Community Property, and persons having interest in, or occupying lots.

Council

Cessnock City Council.

Developer

Either Errol Investments Pty Limited (ACN 067 567 006) or Vintage Developments Pty Limited (ACN 001 183 277) or both and where the context permits includes their authorised officers, employees, agents, contractors and assignees.

Development Act

The Community Land Development Act 1989 and regulations made under it.

Development Lot

The same meaning as the Development Act.

DRC

The Design Review Committee constituted in accordance with the Management Statement.

Fencing Diagram

The diagrams contained on page 34.

Golf Course

Golf Course means lot 1023 in DP 1050956 and includes but is not limited to the Golf Course, golf clubhouse and facilities.

Guidelines

These Architectural and Landscape Guidelines as amended from time to time in accordance with the Management Statement.

Improvements

Building alterations, amendments, modifications, new constructions, structures, building works which have changed since approval by the DRC, landscaping and external repairs whether or not requiring the approval of Council, but excluding changes to the interior of a dwelling which:
(a) do not require the approval of Council;
(b) do not interfere with or involve connection to Services; and
(c) are not visible from another Lot, Community Property or the Golf Course.

Invitee

A person on the Community Parcel with the consent (express or implied) of an Owner or Occupier or the Community Association.

Landscape Design Plan

A documented design completed by a suitably qualified individual. The design will be completed in accordance with these Guidelines.

Loft

The space between the underside of a roof and the ceiling of a habitable room beneath. The space contained within a loft can be a habitable space.

Lot

A Lot within the Community Parcel.

Lot Evaluation Sheet

The diagrams contained in Appendix D.

Management Statement

The Community Management Statement.

Multi Purpose Pathway

The path located in the Community Scheme for use by Owners, Occupiers, authorised users and the public by foot, cart or bicycle.

Natural Ground

The level of the existing ground when the Owner completes the purchase of the Lot.

Observatory

An open balcony or an enclosed viewing area within the roof space of a single storey house.

Occupiers

A resident and includes resident Owners, any lessee, licensee or assignee of a Lot.

Open Access Way

An open access way within the Community Parcel set apart under section 47 of the Development Act.

Owners

The registered proprietor on title of a Lot or mortgagee in possession of a Lot, its successors and assigns.

Preferred Home Configuration Diagram

The diagrams contained in Appendix D.

Road Verges

The strip of land forming part of the public road reserve from the road curb to the Lot boundaries of variable width adjoining the length of road which will contain Service Lines for Services and Additional Services (if any), verges and pedestrian access ways.

Rural Residential Lots

A Lot as defined by the plans and approvals for The Vintage and larger than 4,000sqm.

Sketch Design Materials List form

The form contained in Appendix E

Sketch Review Application form

The form contained in Appendix F

Service Line

A pipe, wire, cable, duct, conduit or pole by means of which a Service is or is to be provided the location of which is illustrated in the Prescribed Diagram.

Sketch Design Plan

Professionally presented architectural and landscape drawings of your proposed home including all details required to satisfy the Guidelines.

Sketch Design Review Assessment Form

The form titled sketch review application form contained in Appendix F.

The Vintage

The development of part folio identifiers 7001/1011941, 7002/1011941 and 7003/1011941 into a number of residential Community Lots, a Golf Course and clubhouse, integrated tourist resort including first class hotel and commercial facilities and such further development as determined by the Developer from time to time.

The Vintage Vision

Our aim at The Vintage is to retain the Hunter Valley charm and create a unique place to live, through the successful design and integration of homes, landscape and our championship Golf Course.

Vision

Vision is The Vintage Vision

Interpretation of these Guidelines

In these Guidelines unless the contrary intention appears

- (a) a reference to the singular includes the plural and vice versa
- (b) a reference to a statute includes any variation, amendment, re-enactment or replacement of it
- (c) the word "person" includes a firm, a body corporate, an association or an authority
- (d) reference to a person includes a reference to the person's executors, administrators, successors and assigns
- (e) a reference to an instrument includes any variation or replacement of it
- (f) a reference to a day is a reference to the period of time commencing at midnight and ending 24 hours later; and
- (g) headings are inserted for convenience and do not affect the interpretation of these Guidelines.

Unenforceability of a part or provision of these Guidelines does not affect the enforceability of any other part or provision.

The Association may exercise a right, power or remedy at its discretion, and separately or concurrently with another right, power or remedy. A single or partial exercise of a right, power or remedy by the Association does not prevent a further exercise of that or of any other right, power or remedy. Failure by the Association to exercise or delay in exercising a right, power or remedy does not prevent its exercise.

A reference to an authority, institute, Association or body or to any officer of them is in the event of that authority, institute, Association, body or officer ceasing to exist or being reconstituted, renamed or replaced or of their respective powers or functions being transferred to any other organisation or person deemed to be a reference to the organisation or officer established, constituted or appointed in lieu of or as replacement for or which or who serves substantially the same purposes or subject of that authority, institute, Association, body or officer .



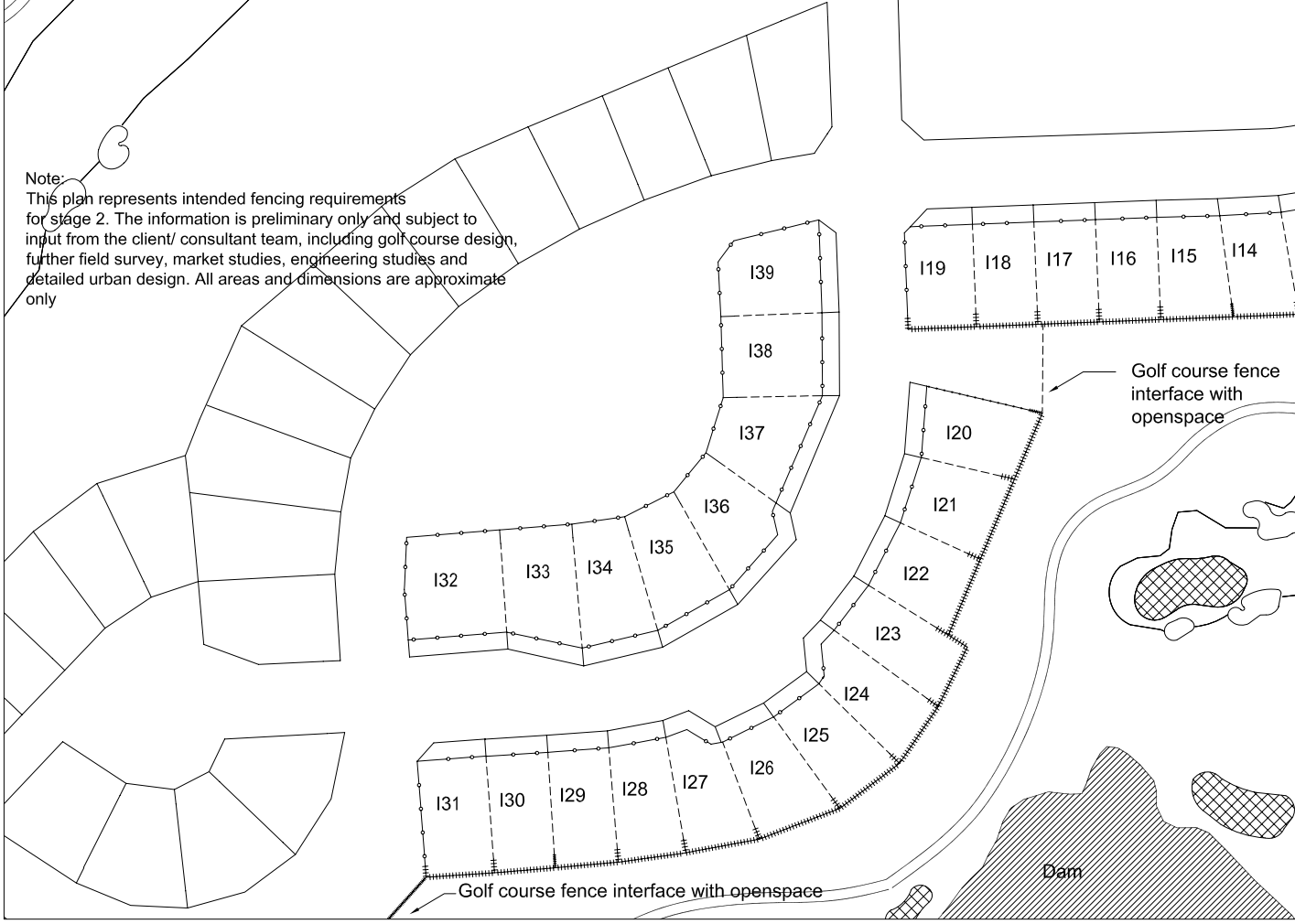
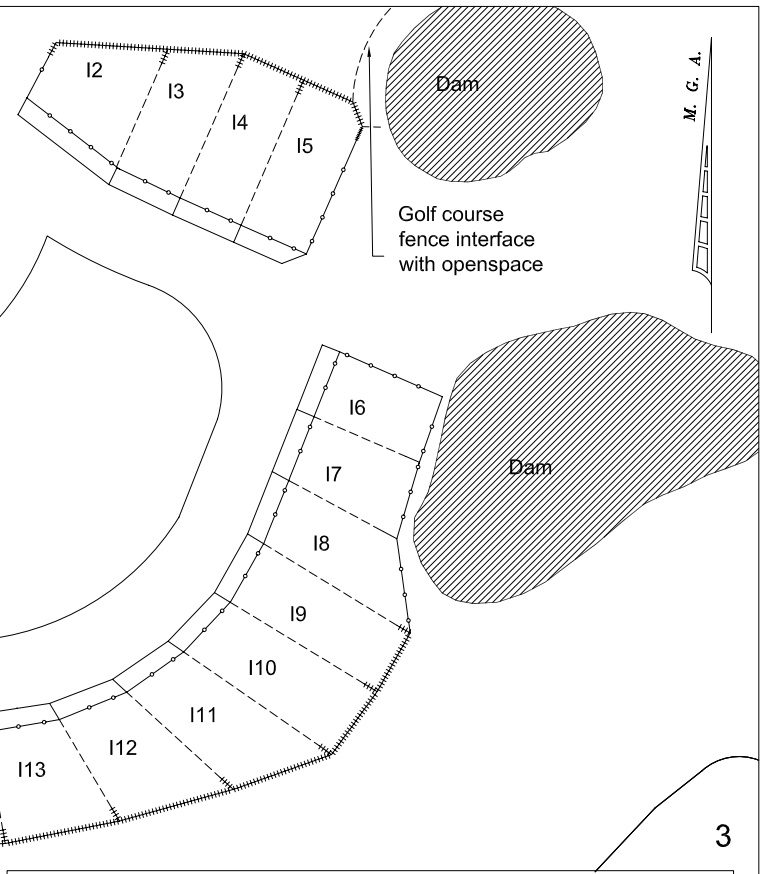
FENCING DIAGRAM

BLUE GUMS Lots 2-39

M. G. A.

6

Note:
This plan represents intended fencing requirements for stage 2. The information is preliminary only and subject to input from the client/ consultant team, including golf course design, further field survey, market studies, engineering studies and detailed urban design. All areas and dimensions are approximate only

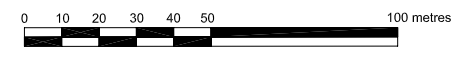


3

KEY

- F1 - Golf Front Fencing** - 4m return from golf boundary
- F2 - Front Fencing & Park Front Fencing** - 4m return of park fence from park boundary - front fence located not less than 1m behind relevant front corner of house
- F3 - Side / Privacy Fencing** - finishing not less than 1m behind relevant front corner of house - side fence to run from alignment of front fence to the returns of a golf or park front fence

NOTE: REFER TO SECTION 8.0 OF ARCHITECTURAL AND LANDSCAPE GUIDELINES



THE VINTAGE



6 FENCING DIAGRAM BLUE GUMS Lots 42-67

M. G. A.

Note:
This plan represents intended building heights and setbacks for stage 2. The information is preliminary only and subject to input from the client/ consultant team, including golf course design, further field survey, market studies, engineering studies and detailed urban design. All areas and dimensions are approximate only

Golf course fence interface with openspace

Golf course fence interface with openspace

Fence interface with future development

KEY

F1 - Golf Front Fencing

- 4m return from golf boundary

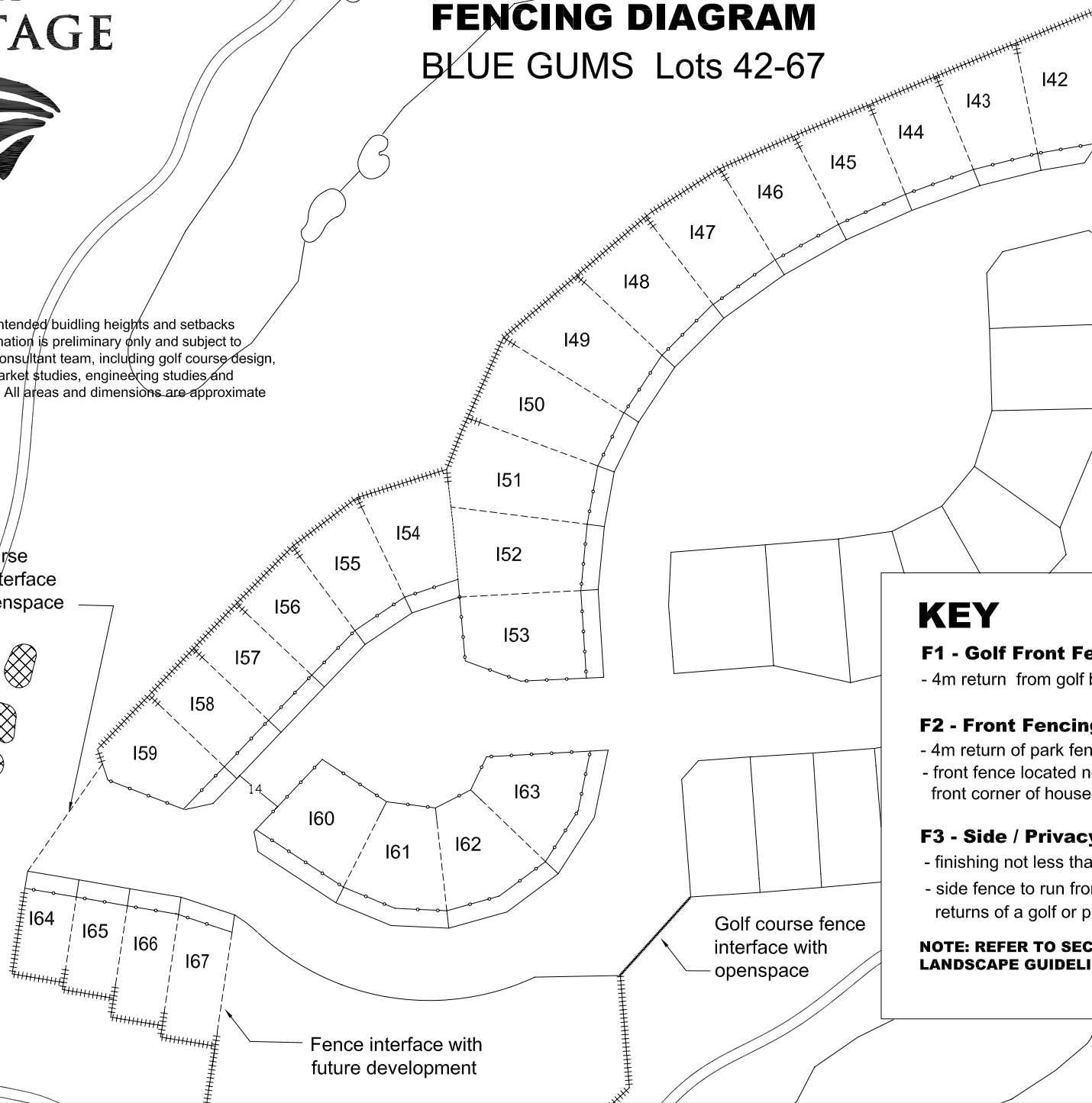
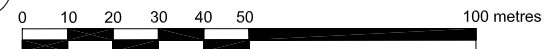
F2 - Front Fencing & Park Front Fencing

- 4m return of park fence from park boundary
- front fence located not less than 1m behind relevant front corner of house

F3 - Side / Privacy Fencing

- finishing not less than 1m behind relevant front corner of house
- side fence to run from alignment of front fence to the returns of a golf or park front fence

NOTE: REFER TO SECTION 8.0 OF ARCHITECTURAL AND LANDSCAPE GUIDELINES





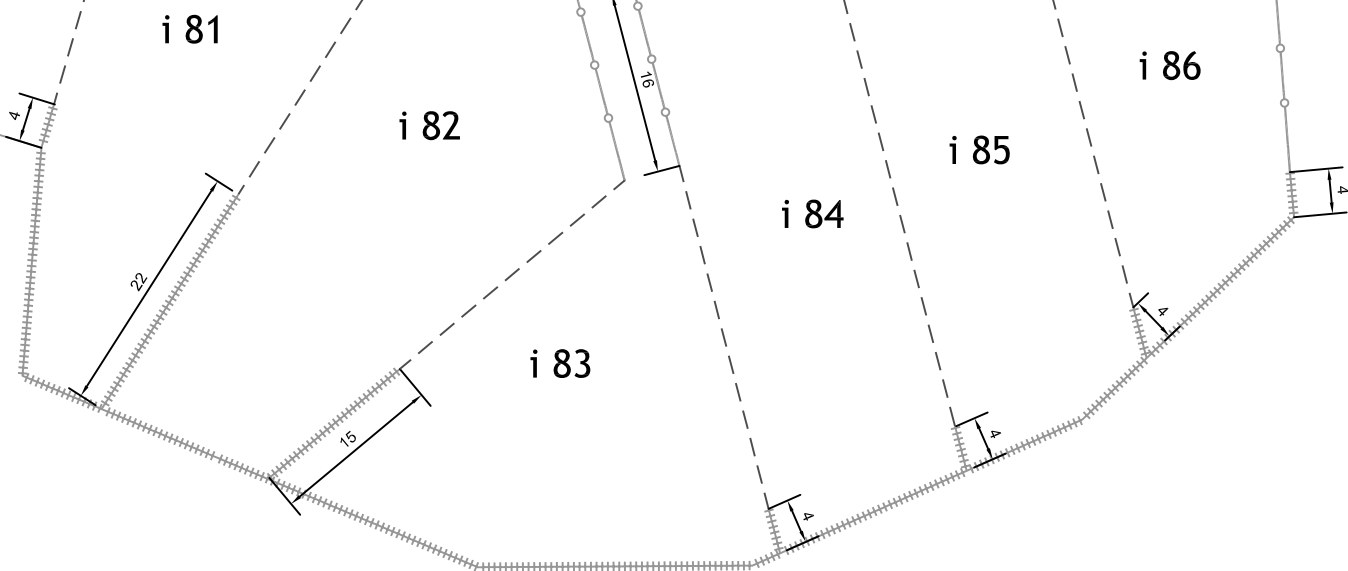
FENCING DIAGRAM

Bluegums Lot 68



ANGOPHORA

DRIVE



KEY

F1 - Golf Front Fencing

- 4m return from golf boundary



F2 - Front Fencing & Park Front Fencing

- 4m return of park fence from park boundary
- front fence located not less than 1m behind relevant front corner of house



F3 - Side / Privacy Fencing

- finishing not less than 1m behind relevant front corner of house
- side fence to run from alignment of front fence to the returns of a golf or park front fence



NOTE: REFER TO SECTION 13 OF ARCHITECTURAL AND LANDSCAPE GUIDELINES



Note:

This plan represents intended fencing requirements for lot 68. The information is preliminary only and subject to input from the client/ consultant team, including golf course design, further field survey, market studies, engineering studies and detailed urban design. All areas and dimensions are approximate only

6th April 2004

THE VINTAGE

BUILDING SETBACK AND HEIGHT DIAGRAM

BLUE GUMS Lots 2-39

M. G. A.

Future Premium
Golf Front Homes

KEY

Street Front Boundary Setbacks

- 4m min. from front boundary for dwellings
- 3m min. from front boundary for verandahs and pergolas

Side Setbacks

- 2m min. from side boundary for first storey
- 3m min. from side boundary for second storey
- 5m min. from side boundary for lofts and observatories
- 3m min. from secondary road frontage for corner lots

Rear Setbacks

- 4m min. from rear boundary
- 8m min. for second storey
- 8m min. rear setback along boulevard

Garage Setbacks

- 6m min. from front boundary
- 4m min. from front boundary for swing-in garages

Optional Zero Lot Line

- Optional zero lot line or 2m min setback

Front Boundary Planting

- 3m min. landscape transition zone from front boundary

Golf Front Lot Buffer

- 2m min. landscape transition zone from golf boundary

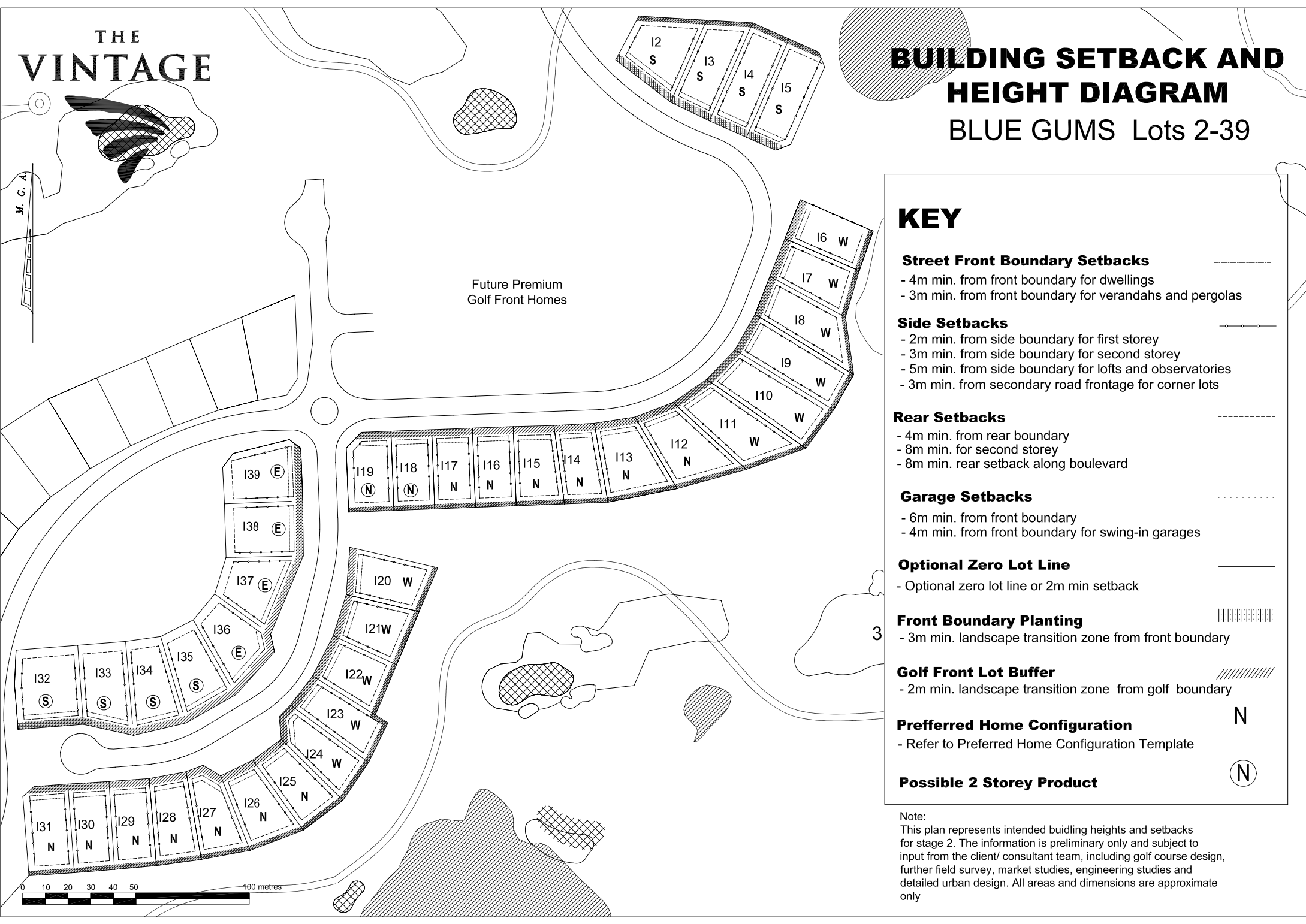
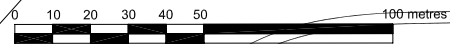
Preferred Home Configuration

- Refer to Preferred Home Configuration Template

Possible 2 Storey Product

Note:

This plan represents intended building heights and setbacks for stage 2. The information is preliminary only and subject to input from the client/ consultant team, including golf course design, further field survey, market studies, engineering studies and detailed urban design. All areas and dimensions are approximate only



THE VINTAGE



BUILDING SETBACK AND HEIGHT DIAGRAM BLUE GUMS Lots 42-67

M. G. A.

6

KEY

Street Front Boundary Setbacks

- 4m min. from front boundary for dwellings
- 3m min. from front boundary for verandahs and pergolas

Side Setbacks

- 2m min. from side boundary for first storey
- 3m min. from side boundary for second storey
- 5m min. from side boundary for lofts and observatories
- 3m min. from secondary road frontage for corner lots

Rear Setbacks

- 4m min. from rear boundary
- 8m min. for second storey
- 8m min. rear setback along boulevard

Garage Setbacks

- 6m min. from front boundary
- 4m min. from front boundary for swing-in garages

Optional Zero Lot Line

- Optional zero lot line or 2m min setback

Front Boundary Planting

- 3m min. landscape transition zone from front boundary

Golf Front Lot Buffer

- 2m min. landscape transition zone from golf boundary

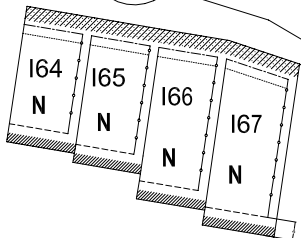
Preferred Home Configuration

- Refer to Preferred Home Configuration Template

Possible 2 Storey Product

Note:

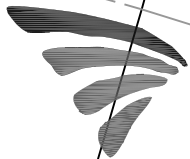
This plan represents intended building heights and setbacks for stage 2. The information is preliminary only and subject to input from the client/ consultant team, including golf course design, further field survey, market studies, engineering studies and detailed urban design. All areas and dimensions are approximate only



Future Premium
Golf Front Homes

0 10 20 30 40 50 100 metres





BUILDING SETBACK AND HEIGHT DIAGRAM

Bluegums Lot 68

ANGOPHORA

DRIVE

M. G. A.

KEY

Street Front Boundary Setbacks

- 4m min. from front boundary for dwellings
- 3m min. from front boundary for verandahs and pergolas

Side Setbacks

- 2m min. from side boundary for first storey
- 3m min. from side boundary for second storey
- 5m min. from side boundary for lofts and observatories
- 3m min. from secondary road frontage for corner lots

Rear Setbacks

- 4m min. from rear boundary
- 8m min. for second storey
- 8m min. rear setback along boulevard

Garage Setbacks

- 6m min. from front boundary
- 4m min. from front boundary for swing-in garages

Front Boundary Planting

- 3m min. landscape transition zone from front boundary

Golf/ Park Lot Buffer

- 3m min. landscape transition zone from golf boundary

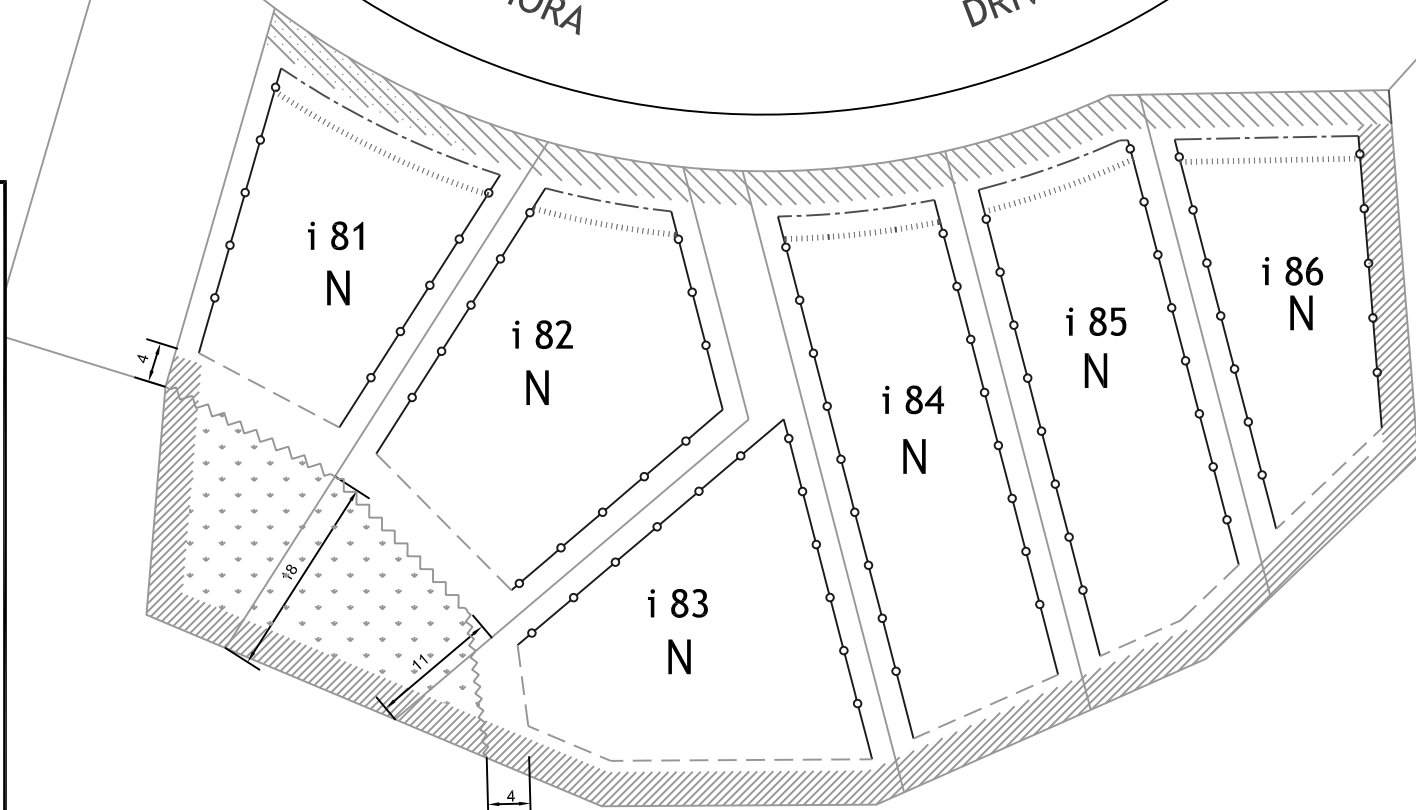
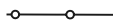
Building Exclusion Zone

- designed to provide amenity to golf course and maximise views to golf for all adjacent lots

Preferred Home Configuration

- Refer to Preferred Home Configuration Template

Possible 2 Storey Product



Note:

This plan represents intended building heights and setbacks for lot 68. The information is preliminary only and subject to input from the client/ consultant team, including golf course design, further field survey, market studies, engineering studies and detailed urban design. All areas and dimensions are approximate only



6th April 2004

THE VINTAGE



M.G.A.

Park front fencing/golf interface to be considered on merit

1
1184m
COMMUNITY PROPERTY

2

3

4

5

6

10

9

8

7

EXISTING

BOUNDARY

EXISTING

BOUNDARY

DRIVE

PROPERTY

IRONBARK

COMMUNITY

**PRELIMINARY FENCING DIAGRAM
Ironbark Villas**

KEY

- F1 - Golf Front Fencing** ++++
- 4m return from golf boundary
- F2 - Front Fencing & Park Front Fencing** —○—
- 4m return of park fence from park boundary
- front fence located not less than 1m behind relevant front corner of house
- F3 - Side Privacy Fencing** ---
- finishing not less than 1m behind relevant front corner of house
- side fence to run from alignment of front fence to the returns of a golf or park front fence

NOTE: REFER TO SECTION 8.0 OF ARCHITECTURAL AND LANDSCAPE GUIDELINES

Note:
This plan represents the preliminary fencing diagram for the Ironbark Villas. It will form the basis for ongoing planning and design. The information is preliminary only and subject to input from the client/consultant team, including golf course design, further field survey, market studies, engineering studies and detailed urban design. All areas and dimensions are approximate only

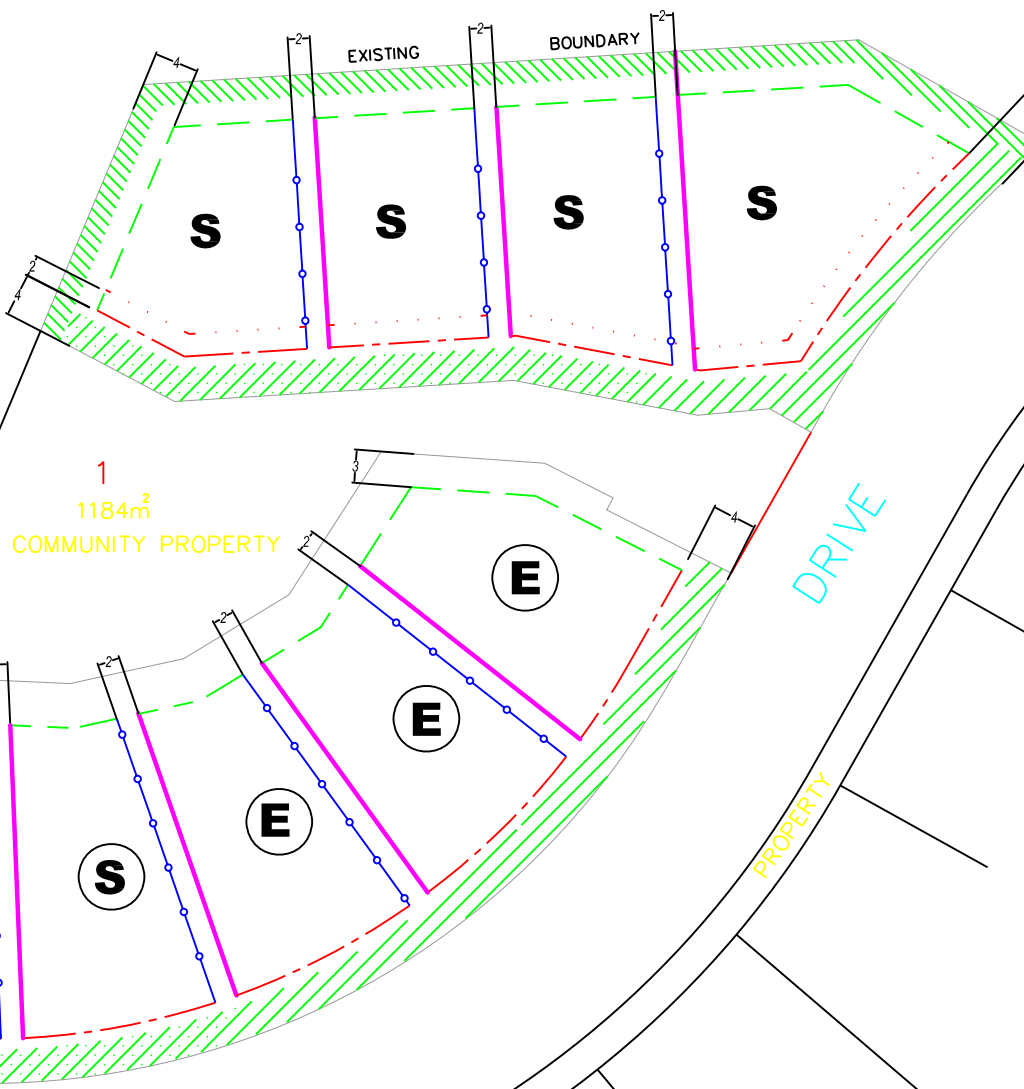


Drawing no. A144-03b
Date 28/02/20





M.G.A.



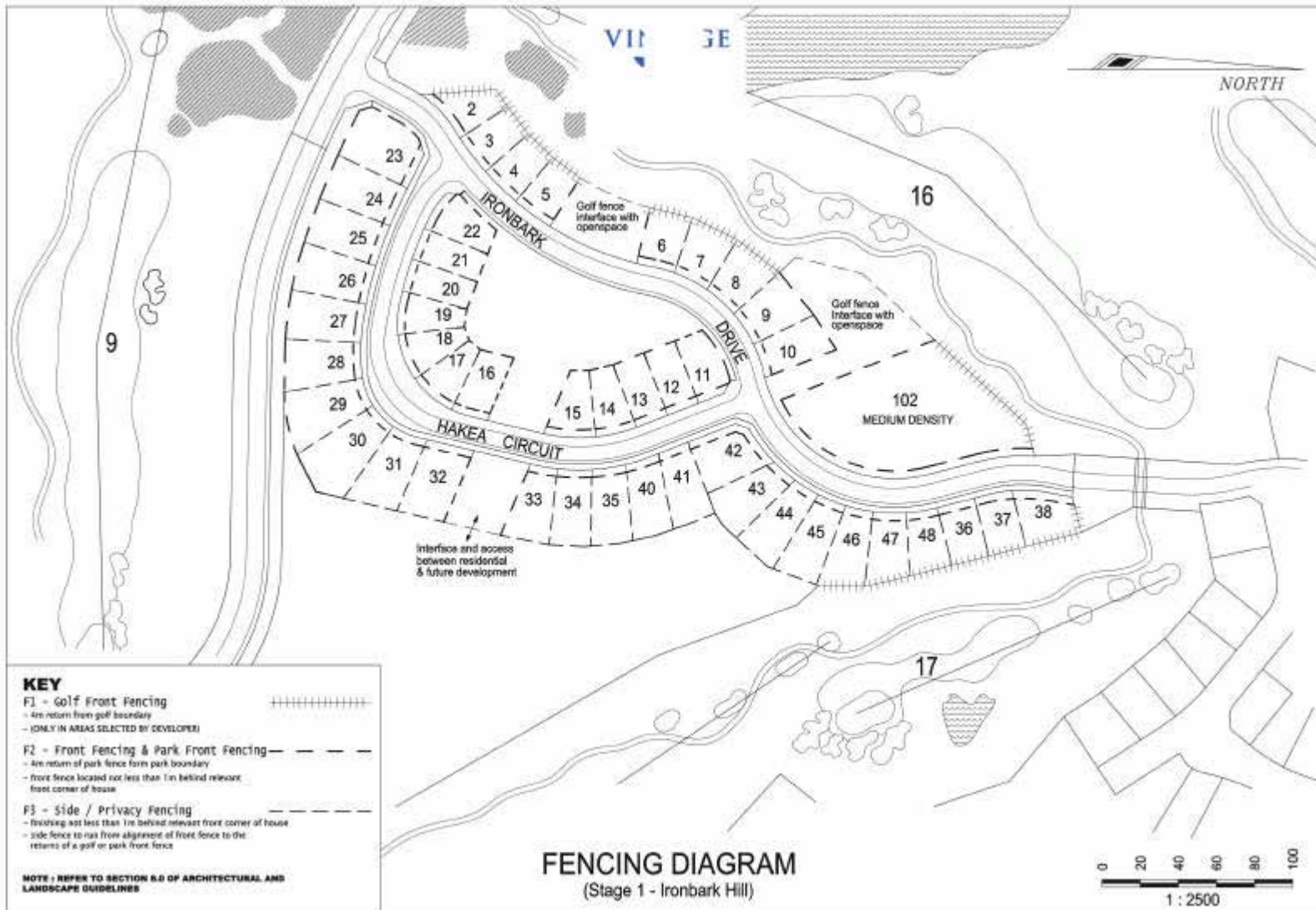
KEY	
Street Front Boundary Setbacks	---
- 4m min. from front boundary for dwellings	
- 3m min. from front boundary for verandahs and pergolas	
Side Setbacks	—○—
- 2m min. from side boundary for first storey	
- 3m min. from side boundary for second storey	
- 5m min. from side boundary for lofts and observatories	
- 3m min. from secondary road frontage for corner lots	
Rear Setbacks	---
- 4m min. from rear boundary	
- 8m min. for second storey	
- 8m min. rear setback along boulevard	
Garage Setbacks
- 6m min. from front boundary	
- 4m min. from front boundary for swing-in garages	
Optional Zero Lot Line	—
- Optional zero lot line or 2m min setback	
Front Boundary Planting	
- 3m min. landscape transition zone from front boundary	
Golf Front Lot Buffer	//////
- 2m min. landscape transition zone from golf boundary	
Preferred Home Configuration	N
- Refer to Preferred Home Configuration Template	
Possible 2 Storey Product	⊗

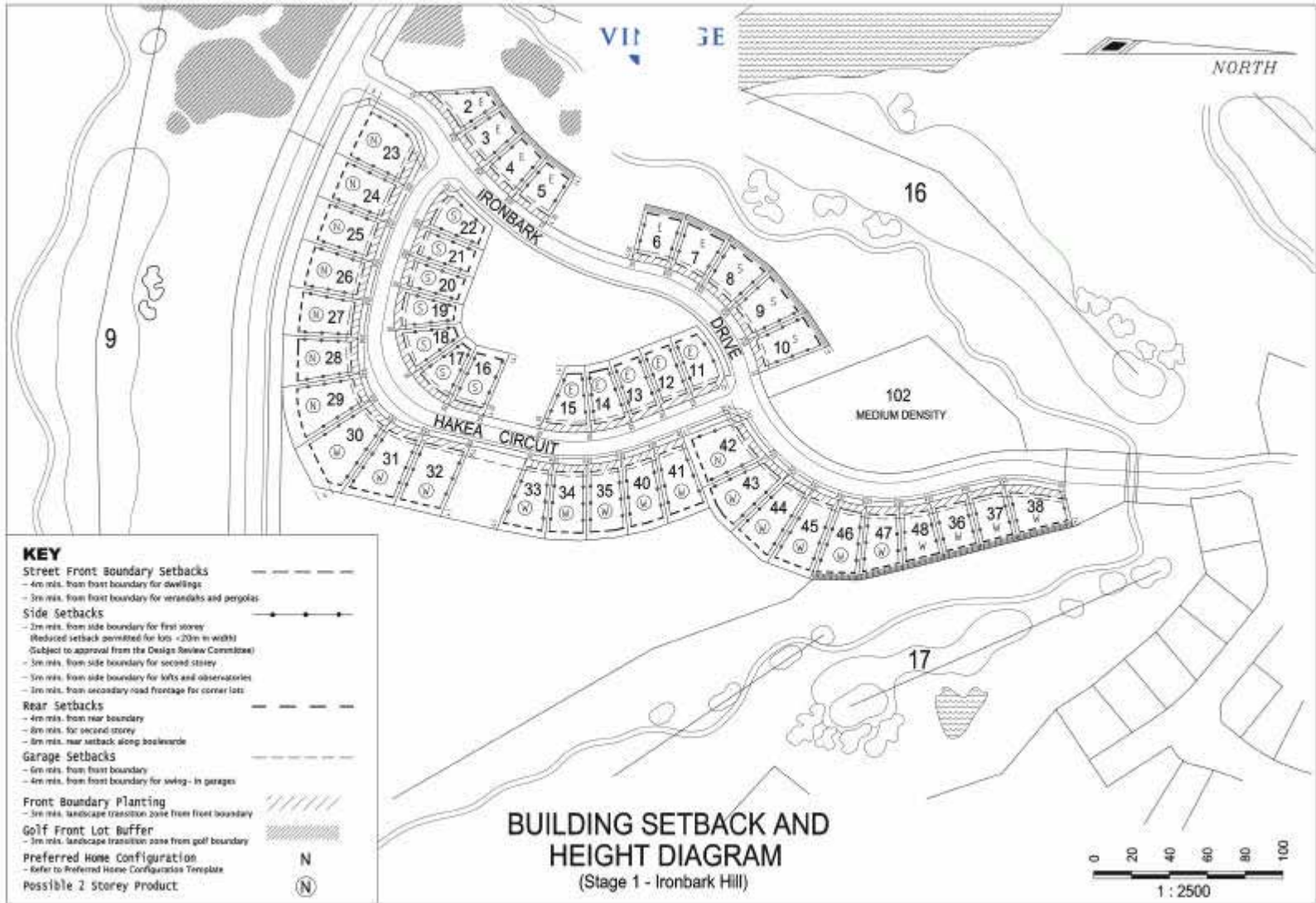
Note:
This plan represents the preliminary building height and setback diagram for the Ironbark Villas. It will form the basis for ongoing planning and design. The information is preliminary only and subject to input from the client/ consultant team, including golf course design, further field survey, market studies, engineering studies and detailed urban design. All areas and dimensions are approximate only

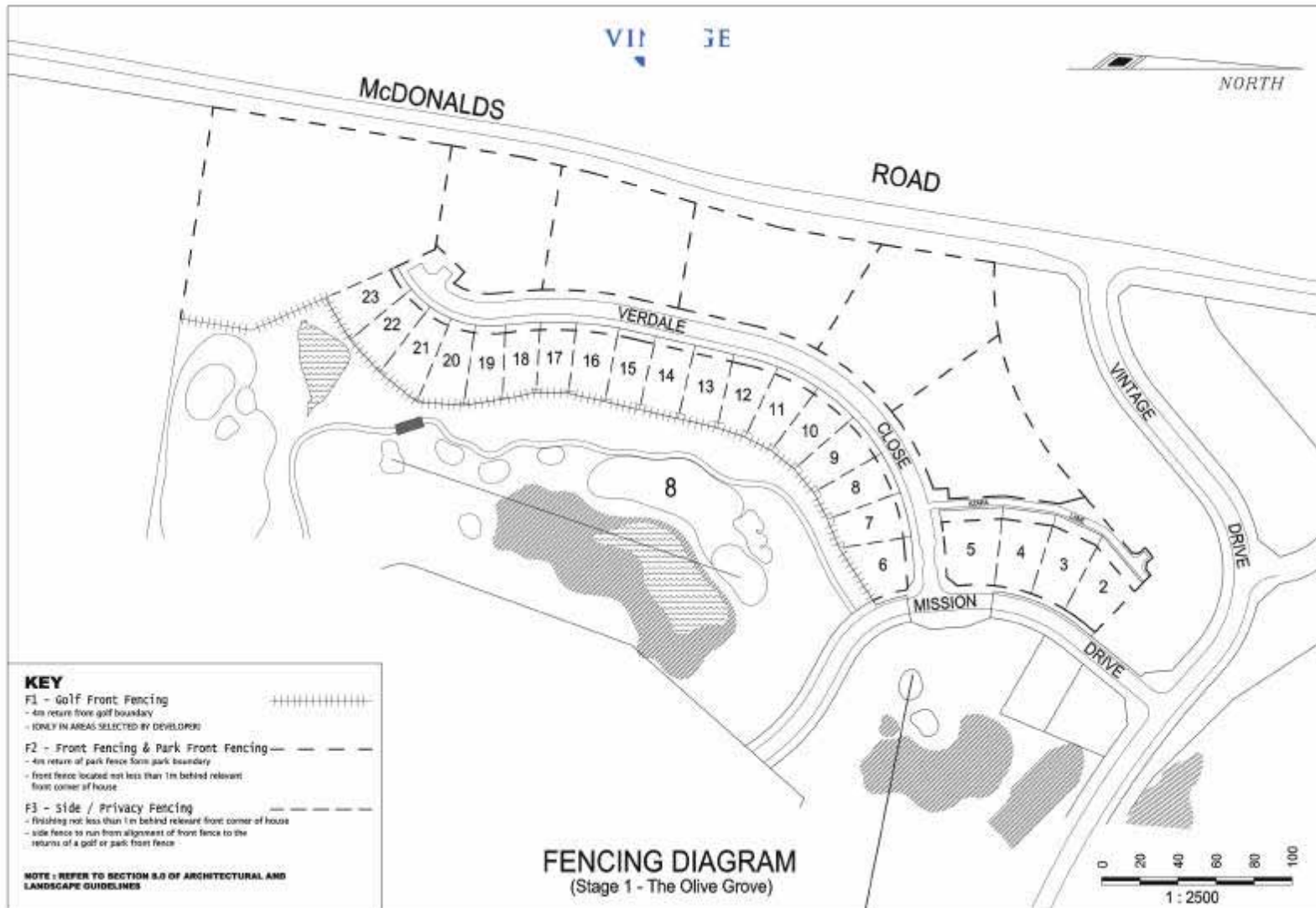
BUILDING SETBACK AND HEIGHT DIAGRAM

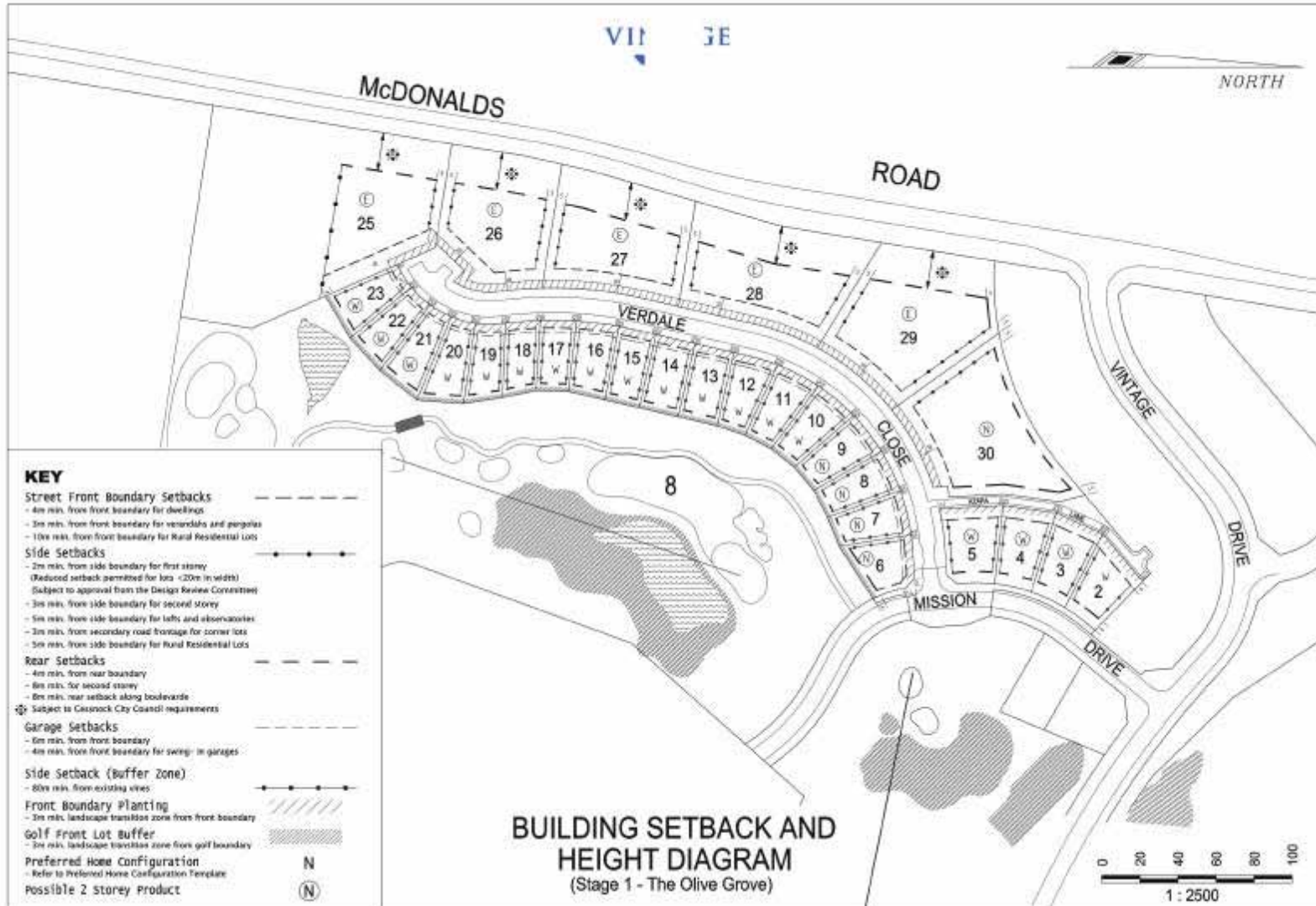
Ironbark Villas











KEY

Street Front Boundary Setbacks

- 4m min. from front boundary for dwellings
- 3m min. from front boundary for verandahs and pergolas
- 10m min. from front boundary for Rural Residential Lots

Side Setbacks

- 2m min. from side boundary for first storey
(Reduced setback permitted for lots <20m in width)
(Subject to approval from the Design Review Committee)
- 3m min. from side boundary for second storey
- 5m min. from side boundary for lofts and observatories
- 3m min. from secondary road frontage for corner lots
- 5m min. from side boundary for Rural Residential Lots

Rear Setbacks

- 4m min. from rear boundary
- 8m min. for second storey

✳ Subject to Cessnock City Council requirements

Garage Setbacks

- 10m min. from front boundary for Rural Residential Lots.
- 6m min. from front boundary
- 4m min. from front boundary for swing- in garages

Front Boundary Planting

- 3m min. landscape transition zone from front boundary

Golf Front Lot Buffer

- 3m min. landscape transition zone from golf boundary

Preferred Home Configuration

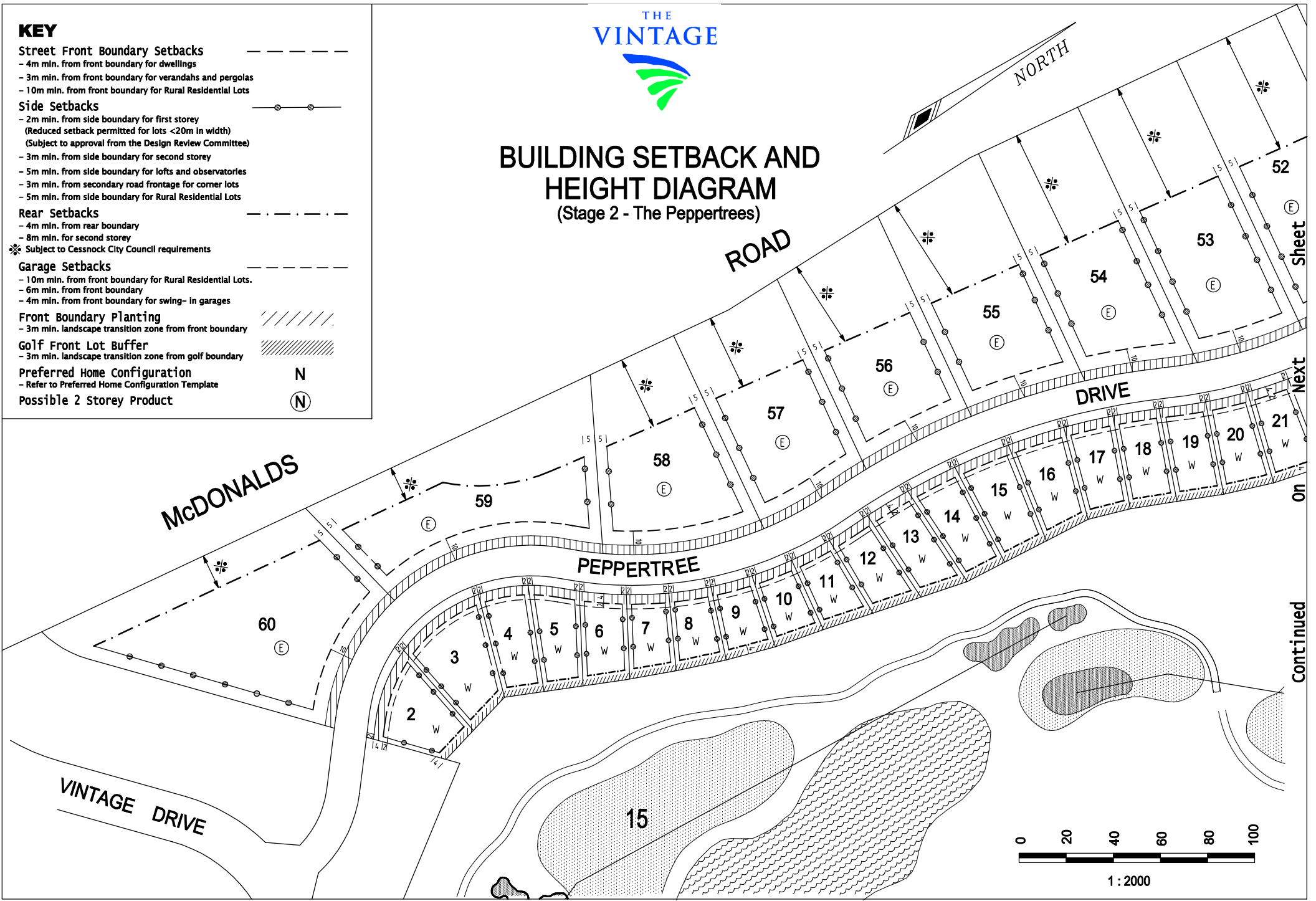
- Refer to Preferred Home Configuration Template

Possible 2 Storey Product



BUILDING SETBACK AND HEIGHT DIAGRAM

(Stage 2 - The Peppertrees)





BUILDING SETBACK AND HEIGHT DIAGRAM (Stage 2 - The Peppertrees)

KEY

Street Front Boundary Setbacks

- 4m min. from front boundary for dwellings
- 3m min. from front boundary for verandahs and pergolas
- 10m min. from front boundary for Rural Residential Lots

Side Setbacks

- 2m min. from side boundary for first storey
(Reduced setback permitted for lots <20m in width)
(Subject to approval from the Design Review Committee)
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- 3m min. from secondary road frontage for corner lots
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Rear Setbacks

- 4m min. from rear boundary
- 8m min. for second storey

✳ Subject to Cessnock City Council requirements

Garage Setbacks

- 10m min. from front boundary for Rural Residential Lots.
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- 3m min. landscape transition zone from front boundary

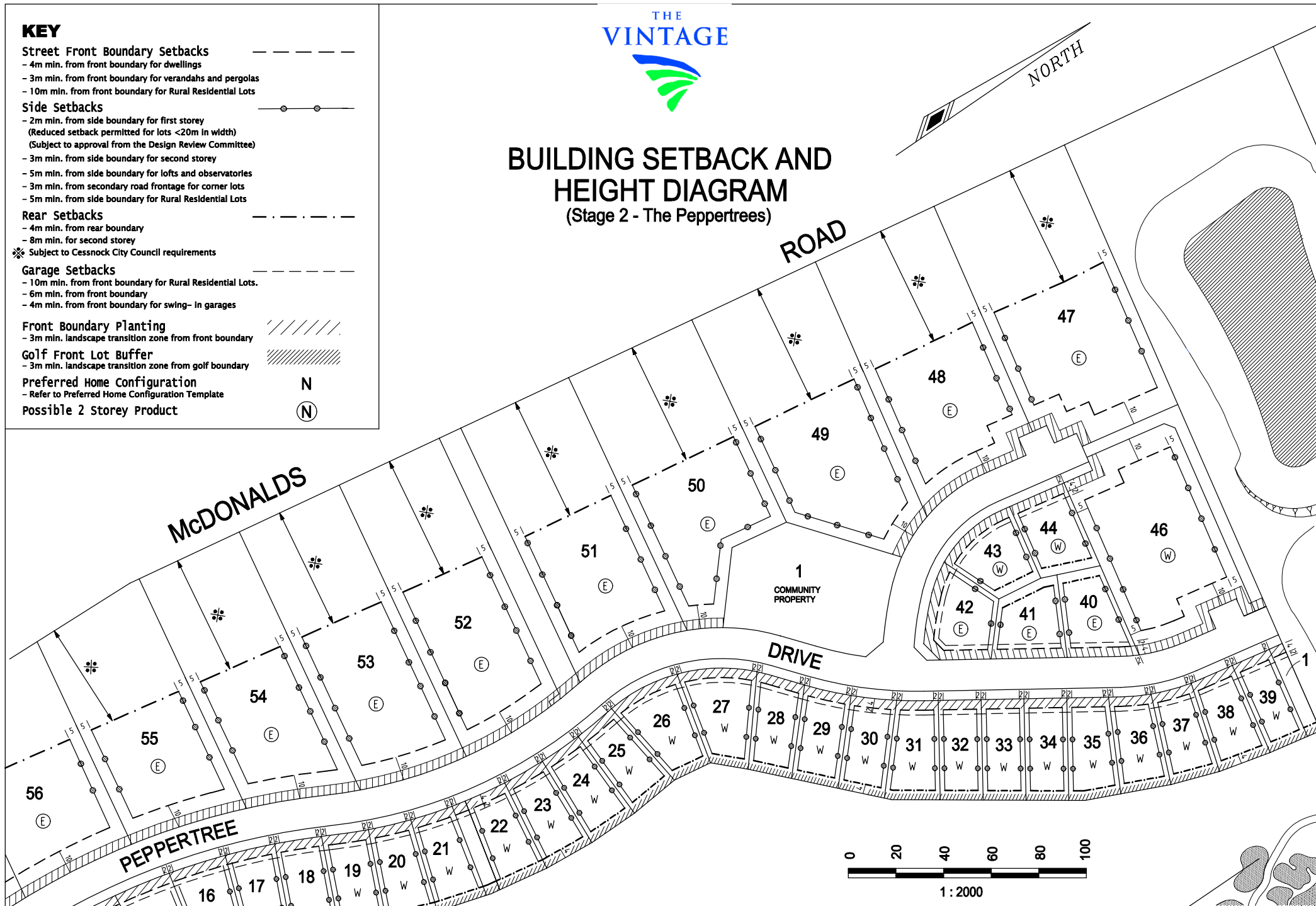
Golf Front Lot Buffer

- 3m min. landscape transition zone from golf boundary

Preferred Home Configuration

- Refer to Preferred Home Configuration Template

Possible 2 Storey Product



KEY

F1 - Golf Front Fencing

- 4m return from golf boundary

- (ONLY IN AREAS SELECTED BY DEVELOPER)

F2 - Front Fencing & Park Front Fencing

- 4m return of park fence form park boundary

- front fence located not less than 1m behind relevant front corner of house

F3 - Side / Privacy Fencing

- finishing not less than 1m behind relevant front corner of house

- side fence to run from alignment of front fence to the returns of a golf or park front fence

F4 - McDonalds Road Fencing

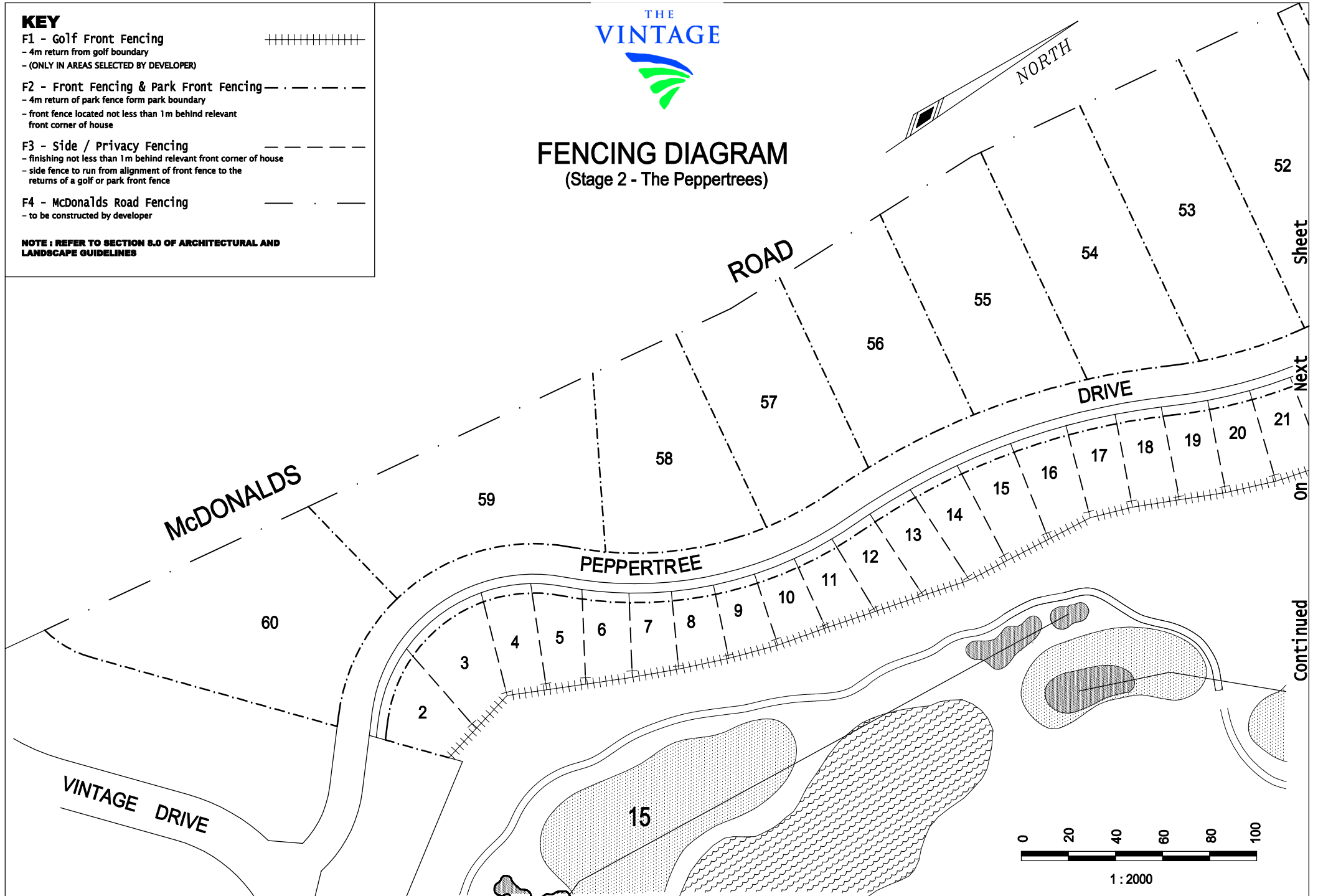
- to be constructed by developer

NOTE : REFER TO SECTION 8.0 OF ARCHITECTURAL AND LANDSCAPE GUIDELINES



FENCING DIAGRAM

(Stage 2 - The Peppertrees)



KEY

F1 - Golf Front Fencing

- 4m return from golf boundary

- (ONLY IN AREAS SELECTED BY DEVELOPER)

F2 - Front Fencing & Park Front Fencing

- 4m return of park fence form park boundary

- front fence located not less than 1m behind relevant front corner of house

F3 - Side / Privacy Fencing

- finishing not less than 1m behind relevant front corner of house

- side fence to run from alignment of front fence to the returns of a golf or park front fence

F4 - McDonalds Road Fencing

- to be constructed by developer

NOTE : REFER TO SECTION 8.0 OF ARCHITECTURAL AND LANDSCAPE GUIDELINES



FENCING DIAGRAM
(Stage 2 - The Peppertrees)

